



MARK E. RUMLEY  
*City Solicitor*

# City of Medford

LAW DEPARTMENT

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November 27, 2019

Kate Norton  
MuckRock News  
DEPT MR 81171  
411A Highland Ave.  
Somerville, MA 02144-2516

Dear Ms. Norton:

Enclosed please find my response to your records request.

**Request # 1:** Any email messages and/or attachments sent or received, including CC and BCC emails, that include Lauren DiLorenzo, Director of Community Development for the City of Medford, between January 1, 2019 and present or concern or make mention of any of the following topics:

Waypoint,  
Waypoint Development;  
Winthrop Street Estates;  
Winthrop Estates;  
Winthrop Estates Division;  
541 & 551 Winthrop Street;  
Edward Champy;  
Ed Champy;  
[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com);  
Joseph LaRiccia, Jr.,  
J.J. LaRiccia;  
[jlaticchia@waypointcompanies.com](mailto:jlaticchia@waypointcompanies.com)

**Response to Request # 1:** See attached. Please note the records are voluminous and therefore were mailed to you, free of charge.

I have waived any fees associated with this request.

If you feel this is in error or wish to appeal my decision, you have the right of appeal to the Supervisor of Records so long as the appeal is filed within ninety (90) calendar days of my response.

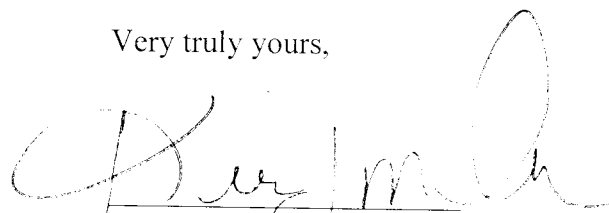
You may also commence a civil action in superior court to enforce the requirements of the Public Records Law.

To petition an appeal, you must send the Supervisor of Records (by fax: (617)-727-5914) mail: Secretary of the Commonwealth, Public Records Division, McCormack Building, One Ashburton Place, Room 1719 Boston, MA 02108 or e-mail: [pre@sec.state.ma.us](mailto:pre@sec.state.ma.us)) copies of the following:

1. The written request;
2. The written response, if any; and
3. A brief letter detailing the reason for the appeal.

**Please do not hesitate to contact me directly if you have any additional record requests. As Records Access Officer for Medford City Hall, I can be reached at 781-393-2470 or via e-mail at [kscanlon@medford-ma.gov](mailto:kscanlon@medford-ma.gov).**

Very truly yours,



Kimberly M. Scanlon  
Assistant City Solicitor  
Records Access Officer  
City of Medford  
85 George P. Hassett Drive  
Medford, MA 02155  
781-393-2470  
[kscanlon@medford-ma.gov](mailto:kscanlon@medford-ma.gov)

## Annie Streetman

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**From:** Lauren DiLorenzo  
**Sent:** Thursday, August 15, 2019 12:29 PM  
**To:** j  
**Cc:** DePriest, John; Tim McGivern; Annie Streetman  
**Subject:** Re: Waypoint Development

Also, A set of the full application is available for Viewing. If you call Annie Streetman in my office at 781-393-2480 she will be happy to be available. Otherwise come anytime during regular business hours.

*Lauren DiLorenzo, Director*

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

ldilorenzo@medford-ma.gov

**From:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Date:** Thursday, August 15, 2019 at 12:23 PM  
**To:** j <jeanneconnors@aol.com>  
**Cc:** "DePriest, John" <JDePriest@chelseama.gov>, Tim McGivern <tmcgivern@medford-ma.gov>, Annie Streetman <astreetman@medford-ma.gov>  
**Subject:** Re: Waypoint Development

Dear Mr. and Mrs. Connors,

The notes from the meeting that evening do not reflect what Mr. Champy has stated in the letter to you. At one point in the meeting, Mr. Connors asked a question about whether homeowners would be able to use the right of way to travel to Winchester. Mr. Fraser, 30 Ronale Rd. asked if the right of way could remain for pedestrians only. At that point Mr. Champy stated he would be willing to abandon the right of way. In fact, the Chairman stated the Board could not usurp private property owner rights and all private parties would have to agree. The Board did not suggest the abandonment of the way. In fact I agree they do need to be clear about private property rights. I believe the Chairman recognized this also. The Board did not feel express one way or the other as it was unclear as to the status of private rights.

The Continued Public Hearing is September 11, 2019 in the City Council Chambers beginning at 6pm. If you can attend that would be best. If not and you are opposed to this just send me an email at least a few days prior to the meeting and I will be happy to read it into the record.

Sincerely,  
Lauren DiLorenzo

**Date:** Wednesday, August 14, 2019 at 6:10 PM  
**To:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Cc:** "johnkj11@me.com" <johnkj11@me.com>  
**Subject:** Waypoint Development

Dear Ms. DiLorenzo,

Allow us to introduce ourselves, we are John and Jeanne Connors, two of the owners of the undeveloped land at 0 Franklin Ave, which abutts the potential Waypoint Development. I am attaching a copy of a letter we recently received from them. We would like to make a couple of points at this time regarding this letter.

1. Did the Community Development Board in fact ask Mr. Champy to request that we approve that 553 and 555 Winthrop Street discontinue using the Right of Way down to Winthrop Street, thereby having the only access to their homes over our properties Right of Way off of Franklin Ave? If so, when was this request made as we attended the May 15 meeting and were not made aware of this.
2. Can you tell us who on the Community Development Board have visited and walked the property, including the Right of Ways, to actually know what is being referred to when they are spoken of at meetings? If no one has done this we highly encourage it as it is impossible to make an informed decision otherwise.
3. When can we expect the next meeting to take place and when will we have access to view the potential plans for this development?

Thank you.

Sincerely,

John and Jeanne Connors

3 Headland Way  
Medford, MA 02155



## Annie Streetman

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**From:** Lauren DiLorenzo  
**Sent:** Thursday, August 15, 2019 11:55 AM  
**To:** Edward Champy  
**Cc:** DePriest, John; Tim McGivern; Annie Streetman  
**Subject:** Winthrop Estates Subdivision, City Engineer comments  
**Attachments:** TM. Letter re Winthrop St.pdf

Hello Ed,  
Yesterday I received a copy of the City Engineer's comments to the CD Board Chairman regarding your revised submission. As you know, you and the Board had a mutually agreed upon extension until 30 days from September 11<sup>th</sup>. I think it would be prudent for you to address the Engineer's comments and submit the information he identifies as necessary for his review and recommendation prior to the meeting. I would expect that the Board would rely on the Engineer's recommendation to approve, deny or approve with conditions. If he does not have sufficient information I don't see how a favorable decision can be reached on the 11<sup>th</sup>.

*Lauren DiLorenzo, Director*

Office of Community Development  
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Medford, MA 02155  
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ldilorenzo@medford-ma.gov



# City of Medford

## DEPARTMENT OF PUBLIC WORKS

TIMOTHY J. MCGIVERN, PE  
City Engineer

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85 George P. Hassett Drive  
Medford, Massachusetts 02155

Telephone  
(781) 393-2417  
FAX: (781) 393-2422  
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To: John DePriest, Chairman, Community Development Board

From: Timothy J. McGivern, City Engineer *TJM*

Date: August 13, 2019

Re: Winthrop Estates Definitive Subdivision

The Engineering Division received and reviewed a revised plan set (21 sheets) for the Winthrop Estates Definitive Subdivision (the Plan). The revision date is June 24, 2019. The Engineering Division issued a letter dated May 7, 2019 with comments on the original submission. The revised plan appears to address many of these comments; however, some open items remain.

The Proponent included a Resolution Report dated July 2, 2019, prepared by Design Consultants, Inc. with the revised plans. This report lists the open comments and provides a response. In addition to the revised plans and the Resolution Report, this most recent submission to the Engineering Division also included:

1. a copy of an internal DCI memorandum from Michael F. Clark, P.E. to Erik Swanson, P.E. dated July 8, 2019 regarding Hydrant Flow Test Winthrop Street Development Medford, MA;
2. a copy of a memorandum from Adam Macsata, EIT of Commercial Construction Consulting Inc., to Joseph Lariccia, dated July 11, 2019 regarding fire protection requirements for Winthrop Estates, Medford;
3. a copy of a Stormwater Management Report dated March 13, 2019, revised June 21, 2019 and prepared by DCI; and
4. a copy of a "Tractor Camera Inspection Report" dated August 5, 2019 and prepared by Wayne's Drains (included video file).

Comments that are considered resolved or addressed to the satisfaction of the Engineering Division are omitted from this letter. For tracking and readability purposes, the text of the original comment, and numbering sequence is preserved. It should be noted, the May 7, 2019 letter from the Engineering Division had an error in the comment numbering. This error is corrected in the Resolution Report. The text of the original

comment is in *italics*, the Proponents response is in plain text, and new comments or responses from the Engineering Division are in **bold**.

## **The Certificate**

1. *The Plan appears to show topography that is consistent with the Preliminary Plan. The Engineering Division memo referenced in the Certificate requires that the Preliminary Plan be revised to include contours that reflect the current conditions at the site. The Plan does not reflect the current topography at the site. The Plan should be revised to reflect the current topography at the site.*

*It should be noted that a critical step in the subdivision process is providing an accurate estimate of the proposed work. A significant cost associated with this project is rock removal and an accurate topography of existing conditions should be included in the Plan.*

DCI Response: "DCI has included an existing condition plan in the revised plan set. DCI has surveyed the ledge area that was excavate and revised the contours to reflect the changed condition"

**The comment is addressed on the plans; however, it remains open for the following recommendation. The Engineering Division recommends that the Proponent submit a cut and fill analysis that reflects the final design. This analysis must include all relevant volumes that are required to perform a cost estimate of the required earthwork.**

2. *The Plan does not appear to indicate that it is prepared using the North American Vertical Datum of 1988 (NAVD 88). The Plan should be revised so all elevations and contours are on NAVD 88. All benchmarks should be revised accordingly.*

DCI Response: "The benchmark for the subject site was taken from the original existing conditions plan. Given this comment, DCI will provide a closed level to verify the NAVD 88 datum with Neponset Valley Survey's datum."

**The Engineering Division takes no exception to this approach; however, the Plan does not indicate on the Existing Conditions drawing that the datum is confirmed. Once the datum is confirmed, a note should be placed on the Plan indicating the vertical datum.**

3. *The Certificate requires that:*

*"The entrance to the twelve (12) foot right of way from Winthrop Street should be re-evaluated to consider a connection to the new proposed road versus an additional curb cut from Winthrop Street."*

*The Engineering Division did not receive an evaluation for connecting the existing right of way (ROW) to the proposed roadway. The existing ROW contains a shared driveway for the homes at 555 and 553 Winthrop Street. This driveway intersects Winthrop Street, a Class A roadway, at an acute angle and significant grade change. This shared driveway is located on one of the existing parcels of the Plan.*

*The location of the proposed roadway appears to provide an opportunity to improve this existing condition. The existing parcel that contains the ROW becomes area that is used for the larger subdivision; however, the rights of the way must be preserved in the new subdivision. The proposed roadway parcel provides the opportunity for a shared driveway easement from the new Class C roadway and remove it from the Class A roadway. In other words, having the driveway be perpendicular to a "quiet" street instead of at an angle to a "busy" street like Winthrop Street is preferred and should be thoroughly evaluated by the proponent to the satisfaction of the Board.*

DCI Response: "The 12-foot right-of-way has been connected to the new road and a new easement has been shown on the plan."

**The Plan indicates that the subject driveway is now connected to the new road via the driveway for Lot 1. This is an improvement to the existing condition. The Board should determine if the Proponent evaluated this driveway to their satisfaction.**

5. *The Certificate requires that:*

*"The Developer should coordinate with the Complete Street representative and Walk Medford representative to ensure safe pedestrian, bicycle and travel to and along Winthrop Street to Medford High School."*

*The documents received by the Engineering Division did not include correspondence or other material demonstrating compliance with this requirement. The proponent should address this item to the satisfaction of the Board.*

DCI Response: "The owner has met and coordinated with the Complete Streets representative and her comments were incorporated into the plan"

**The Engineering Division received a copy of the comments provided by Walk Medford to Waypoint Companies. The comments are summarized below and are adopted by the Engineering Division as advised by Walk Medford:**

- 5a. **During construction the project shall maintain pedestrian access along the north side of Winthrop Street. This includes sidewalk snow removal, and removal of construction debris and sediment. Walk Medford and the Engineering Division recommend signage warning pedestrians of blasting as they approach.**

- 5b. The development abuts the High School parcel. The Plan indicates pedestrian connectivity from Winthrop Estates to the High School; however, there is an opportunity for a more direct connection. The Proponent should evaluate alternate pedestrian connectivity to the High School via a trail and easement. Walk Medford and the Engineering Division acknowledge this has topographic challenges; however, it appears feasible.

## General

9. *The Plan includes a note on sheet C5.1 that has missing information related to blasting hours. The Plan should be revised to include this information.*

DCI Response: "Blasting hours have been added to CS.1."

The comment appears to be addressed; however, the project will require a blasting permit from the Medford Fire Department. The hours of blasting should be confirmed during that process.

The GT series included as part of the Plan includes information pertaining to rock excavation by blasting. The Engineering Division recommends that the Proponent obtain and submit a letter to the Board from the Medford Fire Department approving the applicable plan set sheets for blasting. The Engineering Division also recommends that the Board indicate in their approval that final blasting requirements are subject to approval by the MFD.

10. *The drawings included in the Plan have inconsistent title blocks and numbering series. The Plan should be revised to be a consistent set of drawings that have the same title block, dates, and sheet numbering system.*

DCI Response: "DCI has worked with subcontractors to modify numbering and title blocks."

This comment is not addressed. For example, the GT and L series have a different titleblock than the C series. Another example is the GT series refers to a total set of five (5) drawings, however, they are part of a 22 sheet plan set. These issues must be resolved in the next submission. It should also be noted that all sheets must include the signatory block for the Board.

11. *The Plan includes requirements for "Rock Excavation, Rock Face Cleaning & Rock Dowel Installation". Note 2 under these requirements indicates "lifts". The Plan should be revised to include heights of the lifts required in each step of the construction process. This should include, but is not limited to, the maximum height of rock face prior to stabilization, and the height of vegetated slopes prior to stabilization.*

DCI Response: “(per Frank Leathers, GEI): Drawing GT-5, Section titled “Rock Excavation, Rock Face Cleaning and Rock Dowel Installation”, Note 2 – sentence has been added “Maximum excavation lift height shall be 9 feet below top of rock or lowest previously installed row of dowels.””

**The comment is not fully addressed. Please revise the Plan to include the height of vegetated slopes prior to stabilization.**

12. *The Plan includes a photometric analysis. This analysis appears to be missing a light near Lot 4. The photometric analysis should be revised to include this missing light, and all other site lights.*

DCI Response: The landscape architect has modified the photogrammetric analysis.

**The Engineering Division recommends that the Proponent obtain and submit a letter to the Board from the Superintendent of Wires approving the Lighting Plan. The Engineering Division also recommends that the Board indicate that the Lighting Plan is subject to approval of the Superintendent of Wires prior to construction.**

13. *The Plan does not include sawcuts and street restoration requirements for the excavations proposed in Winthrop Street. The Plan should be revised to include all street restoration requirements including extents, materials, and details.*

DCI Response: “DCI has included limits of saw cuts and street restoration on the plan.”

**The Plan does not indicate final pavement restoration limits. Due to the extent of utility work, the Street Opening Permit will require the temporary patches to be milled and overlaid curb-to-curb with at least a 10-foot offset from the trench limits perpendicular to the curb line. The Plan should be revised to include final pavement restoration limits and street marking restoration including applicable details.**

19. *The Plan includes detail sheets; however, it appears that some of the utility details do not match existing City standards (For example, sanitary sewer manholes require boots, not grouted connections.) The Proponent should review the detail sheet and confirm that they match City standard details. The details should be revised accordingly if they do not match. The Plan should also be revised to include all applicable details. For example, a curb cut detail is applicable and should be shown; a water main trench detail is applicable and should be shown, etc. The review of these details is reserved for a subsequent submission to the Engineering Division.*

DCI Response: "DCI has requested City detail sheet and revised the detail sheet to be consistent with the City of Medford's requirements."

The Engineering Division provided the Proponent with typical construction details that meet the City standards. As applied to this project the Engineering Division has the following comments:

- 19a. Detail 2 on C6.3 is titled "Wheelchair Ramp – Winthrop Street"; however, it is tagged at Lorraine Road in plan view. Please clarify and revise as needed.
- 19b. The diameter of the roadway drainage access point is not shown on Detail 8 on C6.2. The proponent should confirm that the manhole design meets OSHA standards for maintenance worker access. Please review and revise as needed.
- 19c. Detail 7 on Sheet C6.0 includes a reference to existing water service couplings and does not include a buried water box at the corporation stop. The Plan should be revised to remove incorrect references and to include a water gate box over the corporation stops buried to within 18-inches of the roadway surface.
- 19d. Detail 6 on Sheet C6.0 is entitled "Water Service Connection". This appears to be the connection to the Winthrop Street water main. The title should be revised to read "Water Main Connection at Winthrop Street". This detail also indicates a tapping sleeve and valve. Tapping sleeves and valves are no longer allowed in the City of Medford for water main connections. The connection should be revised to include a tee cut into the main.
- 19e. Detail 4 on Sheet C6.0 of a sewer manhole conflicts with other details at the pipe opening. Detail 3 on the sheet appears correct. Please revise accordingly.
- 19f. Detail 10 on Sheet C6.1 indicates decimal values with no unit. Please revise accordingly.
- 19g. Detail 16 on Sheet C6.1 includes a guard rail. Please confirm that this design meets federal highway guard rail design standards.
- 19h. Detail 19 on Sheet C6.2 includes a typical driveway apron. This detail conflicts with the plan and section view regarding sidewalk width. Please revise accordingly.

19i. **Detail 8 on Sheet C6.2 includes a manhole access to the SIS and references a detail for the cover; however, the Plan does not include this referenced detail.**

21. *Upon completion of the Subdivision and Site Plan Approval process, a PDF version of the completed revised Plan should be submitted to the Engineering Division for record. This final recorded Plan shall include all appropriate professional stamps, endorsements, and associated site design plans requiring a PE stamp (For example, retaining walls greater than four (4) feet in height).*

DCI Response: "DCI will stamp and sign final plans relating to their work, as will Frank Leathers of GEI and Michael Radner of Radner Associates."

**The Engineering Division recommends that the Board include the original comment as a condition of approval.**

22. *Upon completion of the Project, a PDF and CAD version of the as-built should be submitted to the Engineering Division for review and record.*

DCI Response: DCI or another survey will develop as-builts and provide these documents to the Engineering Division via both PDF and CAD.

**The Engineering Division recommends that the Board include the original comment as a condition of approval.**

### **Grading and Topography**

24. *The Plan includes a guardrail and fence along the ROW through the site. The Plan or associated documents do not indicate who will own and be responsible for this guardrail system and fence. The Plan should be revised to indicate the owner of the guardrail and fence along the ROW. The Plan should also be revised to indicate that the guardrail shall be installed per federal highway requirements.*

DCI Response: "As part of an approved subdivision, a homeowner's association is proposed to be formulated to maintain all safety fencing and guardrails."

**The Engineering Division recommends that a homeowner's association be created with purview over, but not limited to, the maintenance of the rock face walls, stabilized slopes, safety fencing and guardrails throughout the Subdivision. Maintenance requirements should be prepared by the Design Engineers. These recommendations should be submitted to the Engineering Division for review.**



25. *The Plan includes significant vertical grade change using rock face walls, stabilized vegetated slopes, and retaining walls. The Plan indicates that these systems are located on multiple lots. These systems may need maintenance and repair over time. The Plan does not include information on the future ownership of these systems. The Plan should be revised to clearly indicate ownership of all vertical earth retainage systems.*

DCI Response: “As part of this subdivision, a homeowner’s association will be formed to maintain walls, safety fencing and guardrails.”

**See the Engineering Division response to Comment #24 above.**

## **Roadway**

28. *The Plan includes twenty (20) foot radii curb lines at the intersection with Winthrop Street. Section 7.31 of the Regulations require thirty (30) foot radii curb lines at the intersection of Class C roadways with Class A roadways. The Plan should be revised to include thirty (30) foot radii curb lines.*

DCI Response: “DCI has revised the radii, however, does not recommend this change. Given the placement of handicap ramps and crosswalks, it is not recommended to increase the radius. The larger radius takes pedestrians away from their desired route and moves them further away from the intersection where the lines of sight are not desirable.”

**The Engineering Division received comments from Walk Medford with a similar recommendation. The Engineering Division recommends that the Proponent request a waiver, and the Board grant a waiver, to Section 7.31 allowing twenty (20) foot radii at the intersection with Winthrop Street.**

29. *The Plan does not include stone bounds. The Plan should be revised to include stone bounds at the beginning and end of street line curves and at the intersections of other roadway lines pursuant to Section 8.35 of the Regulations.*

DCI Response: “Stone Bounds have been shown on the layout plan.”

**The Plan does not appear to show clear scope of installing stone bounds as indicated in DCI’s response. The Plan should be revised to include annotations and associated construction details for stone bound installation.**

## **Stormwater**

31. *The Plan does not include a Stormwater Pollution Prevention Plan (SWPPP). The construction will involve a significant amount of heavy earthwork including rock face stabilization, steep slope stabilization, and active earth cuts which will be susceptible to on-site erosion. Erosion should be minimized and managed. The sedimentation*

*associated with any occurring erosion shall be controlled on-site. No off-site sedimentation will be permitted. This includes on the surface or via the municipal storm drain system. The Plan should be revised to include SWPPP plan sheets.*

DCI Response: "Erosion control has been shown on the plan."

**The Engineering Division disagrees that enough erosion and sedimentation control is shown on the Plan. The Engineering Division acknowledges that a SWPPP is the responsibility of the Contractor; however, there are requirements that should be directed by a qualified Engineer and included on the Plan. This project requires a large volume of earth excavation and will require coordination between the design professionals and the selected site contractor. At a minimum, the information that should be included on the Plan includes inlet protection locations, requirements, and acceptable methods; stock pile stabilization requirements and acceptable methods; examples of stock pile locations and sedimentation control measures; and perimeter sedimentation control including locations of strawbales and silt fence.**

32. *The Plan indicates greater than one (1) acre of land disturbance. The project will require an EPA NPDES Construction General Permit (CGP). A copy of the CGP and Stormwater Pollution Prevention Plan (SWPPP) associated with the CGP should be submitted to the Engineering Division for review and the associated plan sheets should be included in the revised Plan. The Engineering Division must review and approve the SWPPP. A copy of the Notice of Intent (NOI) should be sent to the Engineering Division for record.*

DCI Response: "It is understood that an NPDES General Permit is required, however, it is to be filed after an approved subdivision is in place."

**See the Engineering Division response to Comment #31. The Engineering Division also recommends that the Board require that the SWPPP be reviewed and approved by the Engineering Division prior to construction.**

34. *The Plan indicates that the SIS is the primary Best Management Practice (BMP) of the overall stormwater management system for both quantity and quality mitigation, therefore the correct design and installation of this system is critical to the overall function of the stormwater management system. The infiltration test performed at the site was located approximately 120 feet away from the proposed SIS. Soil and bedrock conditions may vary over distances less than 120 feet. The Plan does not indicate soil testing was performed for the smaller infiltration systems; however, the calculations include an infiltration rate for these systems.*

*All BMPs installed as part of the site's stormwater management system should be designed and built pursuant to Volume 2, Chapter 2 of the Massachusetts Stormwater Standards (The Standards). The proposed SIS design does not include soil test results in*

*accordance with the Standards. The Plan should be revised and updated to include soil testing and design information pursuant to the Standards. The smaller systems for the roofs must also include soil test information to support the calculations presented. Soil testing should be performed within the footprints of the proposed systems.*

DCI Response: “GEI will be conducting additional tests once the final SIS locations have been approved. The testing will cover individual roof systems and the primary BMP. GEI’s Report on Rock Core Borings, dated June 21, 2015, contains three boring logs and rock core photographs that indicate the rock at the site is moderately to highly fractured. This is consistent with the rock observed in the exposed rock face and in the test hole where the large-scale infiltration test was performed. The bottom elevations of the SIS’s are well below the rock surface and connect be accessed at this time. The exposed rock will be observed and required infiltration testing will be performed during site excavation to demonstrate that the subsurface conditions are suitable and the SIS design is appropriate.”

**This response is not acceptable. The drainage design of the site relies on assumptions that must be confirmed prior to plan approval. The critical assumptions are the elevation of Estimated Seasonal High Groundwater, and the permeability of the subsurface ledge beneath the infiltration systems. The Proponent has multiple options available to obtain the requested data prior to approval of the Definitive Subdivision plan. For example, soil and bedrock borings could be used for permeability tests in the layer of subsurface material located at the bottom of the proposed infiltration systems. Borings could also be used to monitor groundwater levels. While these methods may not be explicitly allowed under the Standards, The Engineering Division takes no exception to considering alternate methods to gather required data.**

35. *The Plan indicates that the stormwater management system is entirely comprised of subsurface BMPs. Subsurface BMPs are more difficult to inspect and maintain than surface BMPs. The Proponent should evaluate the siting of a surface basin near Winthrop Street instead of the SIS. Curb breaks may be evaluated instead of catch basins, and a surface forebay may be evaluated for pretreatment. This evaluation should be documented and included in a revised submission. This evaluation should demonstrate the best design is proposed for a system that is intended to be owned and maintained by the City after the roadway is accepted.*

DCI Response: “Although DCI is a proponent of this design style it is often used in more rural environment project with less severe topography. DCI feels that given the topography and size of the subject site subsurface infiltration is a more appropriate solution.”

**This response is not acceptable. The Engineering Division is clear in the original comment that the purpose of this evaluation is consideration of inspection and maintenance, not appropriate design style. Also, the**

**Engineering Division acknowledges that the selected design may be best suited for this site; however, the request is to demonstrate this design is the best design, and other options that are easier to inspect and maintain are not practical. For example, the Plan has already been revised to decrease the depth of the system since the last submission. There may be additional opportunities.**

37. *The Stormwater Management Report does not include calculations to demonstrate the capacity of the roadway inlets are adequate to capture the flows intended to be mitigated by the SIS. The SIS is shown to mitigate flows for up to 100-year events, therefore the upstream system must be able to capture and convey the peak flow associated with this design storm to the SIS. The Report should be revised to include inlet calculations and closed system calculations to demonstrate the capacity of the roadway inlets and closed system is adequate for the applicable design flows.*

DCI Response: "Calculations for inlet capacity are now included in the Stormwater Management Report. The pipes have been modeled in HydroCAD to demonstrate adequate capacity."

**The Stormwater Report indicates that CB-1 and CB-2 should have double grates. The Plan indicates single grates. The Plan should be revised to show double grates for CB-1 and CB-2. The Plan should also be revised to include a detail for the double grates.**

39. *The Stormwater Management Report does not include a long-term operation and maintenance plan. The Stormwater Management Report should be revised to include a long-term operation and maintenance plan. The correct inspection, maintenance and repair information should be provided for all installed BMPs to ensure they function according to manufacturer or design specifications.*

DCI Response: "A long term Operations and Maintenance Plan is included in the Stormwater Report."

**The Operation and Maintenance Plan references inspection ports on the SIS that are no longer in the design. The Operation and Maintenance Plan should be corrected and updated.**

- 40.d. *The Plan does not include freeboard space within the SIS. The HydroCAD calculations indicate a peak elevation of 60.22 within the SIS. This peak elevation sits outside the confines of the SIS. The peak elevation of the water within the SIS should be contained within the SIS. The Plan and calculations should be revised accordingly.*

DCI Response: "Two risers are modeled as part of the SIS. Both are for access and cleaning. One has a grate and is modeled as an overflow."

During the 100-year storm event, some flow discharges through this grate, by design.”

**The Stormwater Report indicates that during the 100-year storm event the peak elevation of water in the system is at elevation 65.08. The Engineering Division acknowledges, and takes no exception to, overflow by design; however, there are multiple elements to the overall system connected to the SIS that have rim elevations lower than elevation 65. The Plan indicates that the rim elevations of CB-3 and CB-4 is close to 60.8. This appears to be the first location that will discharge during the staging of the system. The Plan and Stormwater Report should be revised to correct this condition. Also, the Plan should be revised to include a grate on the designated overflow manhole.**

43. *The Plan indicates that the depth of the SIS is between 17 and 22 feet to the bottom of stone resulting in between 13 and 18 feet of cover over the system. The Plan also indicates that the maximum depth of cover is 12 feet. The depth of the system presents design challenges that must be addressed:*

- a. *The Proponent should evaluate if the SIS must be as deep as indicated in The Plan. There may be opportunities for providing the same volume at a different location that will provide relief to the depth. A shallower system is preferred. This evaluation should be documented and included in the revised submission. See additional comments regarding the use of subsurface BMPs. See Comment #29.*

DCI Response: “Modification to the site grading particularly on lots 9 and 10 have significantly reduced the cover over the SIS.”

**The Engineering Division did not receive an evaluation as requested. This comment remains open.**

- b. *The Proponent should consult with the Department of Public Works Highway Division to determine the equipment limitations for servicing the SIS. For example, diameter of access, depth of sediment removal, etc. This information should be used to inform the revised submission.*

DCI Response: “The chamber has been changed to reinforced concrete as recommended. This will facilitate a large diameter access manhole to enhance maintenance.”

**The Engineering Division acknowledges the revision; however, we did not receive information indicating coordination or consultation with the Highway Division. This comment remains open.**

- d. *The depth to groundwater beneath the SIS must be confirmed, as well as the infiltration rate at the bottom of stone must be confirmed. The SIS is the primary water quality treatment and rate mitigation BMP for the project and must operate as designed to prevent discharge of untreated water to the municipal storm drain. This information is critical in confirming the design will function correctly post-construction.*

DCI Response: “(per Frank Leathers, GEI) The infiltration test previously performed in a large on-site excavation near the Winthrop Street side of the site showed rock at the location was very permeable and would exceed state infiltration requirements. Also, the bottom of the excavation was about 6 feet below the Winthrop Street level, and there was no evidence of groundwater prior to the start of the test. Additional observations of groundwater levels and infiltration testing will be performed after excavation to the intended SIS elevations during construction.”

**As indicated in previous responses the Engineering Division does not approve of this approach. Also, see response to Comment #34. The infiltration test, as well as the rock borings, provide good preliminary information; however, they do not provide the information needed to confirm the proposed design which relies on infiltration and a very low groundwater table. For example, boring B104 is located near the SIS and is the lowest boring on the site. The termination depth of this boring is 24 feet below grade. This puts the bottom of the boring at approximately elevation 61. The bottom of the SIS is more than 10 feet below that at elevation 50.48 (bottom of stone).**

**The Stormwater Report should be revised to provide the elevation of the Estimated Seasonal High Groundwater table (ESHGW) at the location of the SIS and the home roof systems. The Proponent should also provide permeability values of the soil or rock directly beneath these systems. These tests must take place prior to approval of the Definitive Subdivision Plan. As stated in a previous response, the Engineering Division will accept appropriate data from observation wells as well as permeability testing performed within a boring at the correct elevation.**

46. *The Plan indicates that each lot contains an infiltration system for the building roof water. These units provide infiltration that is accounted for in the overall stormwater calculations. In other words, these roof infiltration units mitigate rates and volumes prior to discharge to the City's stormwater collection system. The Proponent should demonstrate that these systems will permanently remain in place and be properly maintained to ensure the on-site stormwater system will function as designed. For example, since these systems are on private property, the City is not able to ensure they are maintained properly and are not removed by the lot owner. The Proponent should*

*address how issues similar to this are resolved. This information should be provided in the revised submission.*

DCI Response: "The owner has agreed to placing a deed restriction on each lot that the units must remain in place and will be maintained annually."

**The Engineering Division recommends that the Board require that the deeds associated with the ten (10) building lots include language that protects the roof infiltration systems from removal and disconnection. This deed language should also require the roof systems be maintained annually per maintenance instructions included in the deed.**

## **Water and Sewer**

47. *The Plan indicates a new sewer connection with an estimated design flow of 3,300 gallons per day. The Engineering Division recommends that the sanitary sewer on Winthrop Street from Lorraine Road to Wildwood Road be videoed with a narrative and stationing. The primary purpose of this video is to confirm the condition of the sewer main servicing the development. A copy of this video should be submitted to the Engineering Division for review and record.*

DCI Response: "The owner is scheduling the video service and will call DCI and the City of Medford in advance to observe the process. The owner will then deliver a copy of the video to the Engineering Division for their review."

**The Engineering Division received and reviewed the video inspection. The video inspection included three (3) sanitary sewer main sections; however, no graphic or plan is included to identify the sections of pipe in plan view. The Engineering Division believes the inspected sections are from R-030A to P-030 (SMH-1 to SMH-2); from P-030 to P-029 (SMH-2 to SMH-3); and P-029 to P-028 (SMH-3 to SMH-4). In other words, from the manhole at Smith Lane to the manhole at Wildwood Road. The Proponent should confirm this is correct or provide a plan.**

**Due to the condition of the sanitary main The Engineering Division recommends that it be lined from P-030 to P-028 (SMH-2 to SMH -4). It should be lined with a cured in place liner system. The liner system and curing method must be approved by the Engineering Division prior to installation.**

50. *The Water Superintendent will submit a separate letter with requirements from the Water and Sewer Division. The Engineering Division supports the recommendations made by the Water and Sewer Division.*

DCI Response: "See comments from Brian Kerins below."

**The Plan indicates that the water main is connected to the existing 6-inch main in Winthrop Street. The DPW Commissioner and Water Division Superintendent have expressed concerns with this main. The Engineering Division acknowledges that flow tests indicate enough flow is available for the project requirements; however, our records indicate that the water main in this vicinity was installed in 1931. Due to the age of this main (88 years) The Engineering Division recommends that the Proponent evaluate the condition of the water main to confirm it is suitable for connecting a new 8-inch main. The Proponent should coordinate this evaluation with the Water Division and submit results to the Engineering Division for review.**

**New Comments:**

52. The Revised Plan includes a Temporary Traffic Control Plan; however, the traffic management plan for Phase II and Phase III is not shown. The Revised Plan indicates that Phase II includes new utility connections as well as sidewalk construction in Winthrop Street both of which will have different Traffic Management Plans (TMP). The Engineering Division will review the revised Temporary Traffic Control Plan as part of the Definitive Subdivision process; however, final TMP approval is required prior to receiving a Street Opening Permit from the Engineering Division.
53. Sheet C4.0 Proposed Section and Profile includes notes relevant to asphalt sidewalk. The Plan does not include asphalt sidewalk. The Plan should be revised to remove this note and any other irrelevant notes.
54. The Utility Plan indicates that a catch basin is to be removed in Winthrop Street. The Plan should be revised to include removing the drain pipe from this catch basin to the down stream manhole and plugging the manhole.
55. The Plan indicates a new pedestrian crossing of Winthrop Street at Lorraine Road. The Engineering Division supports the installation of a crosswalk in this location; however, there are additional items that should be included to further increase the safety of this crossing. The Engineering Division recommends that a stop sign, and stop line be installed at Lorraine Road. We also recommend that the northern curb radius at Lorraine Road be reduced to twenty (20) feet. This will reduce the crossing distance and provide better sight lines for the crossing.

The Engineering Division recommends that the Plan be revised and resubmitted with a response letter addressing each item in this review letter.



## **Annie Streetman**

---

**From:** Annie Streetman  
**Sent:** Wednesday, August 21, 2019 5:00 PM  
**To:** Joseph Lariccia  
**Cc:** Edward Champy; Lauren DiLorenzo  
**Subject:** Winthrop Estates Definitive Subdivision - Right-of-Way Documents

Hello JJ,

Could you please provide us with a copy of the Right-of-Way documents showing the parties who have an interest in it?

Thank you,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

## Annie Streetman

---

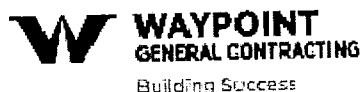
**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Sent:** Thursday, August 22, 2019 10:06 AM  
**To:** Annie Streetman  
**Cc:** Edward Champy; Lauren DiLorenzo  
**Subject:** RE: Winthrop Estates Definitive Subdivision - Right-of-Way Documents

Hi Annie,

Are you looking for the Existing Right of Way documents or Proposed Right of Way documents?

Regards,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Sent:** Wednesday, August 21, 2019 5:00 PM  
**To:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Cc:** Edward Champy <[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com)>; Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
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## **Annie Streetman**

---

**From:** Annie Streetman  
**Sent:** Thursday, August 22, 2019 10:02 AM  
**To:** Ann Marie Irwin  
**Cc:** Lauren DiLorenzo  
**Subject:** Winthrop Street Project

Good morning Ann Marie,

Could you please advise if the Winthrop Street subdivision that will be coming before the Community Development Board in September has all of its taxes paid? The address is 541 & 551 Winthrop Street and the owner is Waypoint Development.

Thank you,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

## Annie Streetman

---

**From:** Lauren DiLorenzo  
**Sent:** Thursday, August 22, 2019 10:09 AM  
**To:** Joseph Lariccia  
**Cc:** Edward Champy; Annie Streetman  
**Subject:** Re: Winthrop Estates Definitive Subdivision - Right-of-Way Documents

JJ the existing. I would not expect any proposed right of way to be presented to the CD Board that all parties have not given their consent to prior to the Meeting. The CD Board meeting is not a place to negotiate rights of ways.

*Lauren DiLorenzo, Director*

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)

**From:** Joseph Lariccia <[JLaRiccia@waypointcompanies.com](mailto:JLaRiccia@waypointcompanies.com)>  
**Date:** Thursday, August 22, 2019 at 10:05 AM  
**To:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Cc:** Edward Champy <[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com)>, Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
**Subject:** RE: Winthrop Estates Definitive Subdivision - Right-of-Way Documents

Hi Annie,

Are you looking for the Existing Right of Way documents or Proposed Right of Way documents?

Regards,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Sent:** Wednesday, August 21, 2019 5:00 PM  
**To:** Joseph Lariccia <[JLaRiccia@waypointcompanies.com](mailto:JLaRiccia@waypointcompanies.com)>

**Cc:** Edward Champy <ecinvest@yahoo.com>; Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Subject:** Winthrop Estates Definitive Subdivision - Right-of-Way Documents

Hello JJ,

Could you please provide us with a copy of the Right-of-Way documents showing the parties who have an interest in it?

Thank you,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

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## Annie Streetman

---

**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Sent:** Thursday, August 22, 2019 10:16 AM  
**To:** Lauren DiLorenzo  
**Cc:** Edward Champy; Annie Streetman  
**Subject:** RE: Winthrop Estates Definitive Subdivision - Right-of-Way Documents

Lauren,

I will send the appropriate documents to you.

Thank you,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



**From:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Sent:** Thursday, August 22, 2019 10:09 AM  
**To:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Cc:** Edward Champy <ecinvest@yahoo.com>; Annie Streetman <astreetman@medford-ma.gov>  
**Subject:** Re: Winthrop Estates Definitive Subdivision - Right-of-Way Documents

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*Lauren DiLorenzo, Director*

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)

**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Date:** Thursday, August 22, 2019 at 10:05 AM  
**To:** Annie Streetman <astreetman@medford-ma.gov>

**Cc:** Edward Champy <[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com)>, Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
**Subject:** RE: Winthrop Estates Definitive Subdivision - Right-of-Way Documents

Hi Annie,

Are you looking for the Existing Right of Way documents or Proposed Right of Way documents?

Regards,

JJ LaRicca  
Project Engineer  
Email: [jlarricca@waypointcompanies.com](mailto:jlarricca@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Sent:** Wednesday, August 21, 2019 5:00 PM  
**To:** Joseph Laricca <[JLaRicca@waypointcompanies.com](mailto:JLaRicca@waypointcompanies.com)>  
**Cc:** Edward Champy <[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com)>; Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
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## Annie Streetman

---

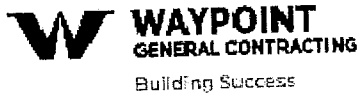
**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Sent:** Thursday, August 22, 2019 10:25 AM  
**To:** Susan M. Collins  
**Cc:** Lauren DiLorenzo; Edward Champy; Annie Streetman  
**Subject:** RE: Winthrop Estates Definitive Subdivision - Right-of-Way Documents

Good Morning Sue,

The CD Board is requesting the documents of the existing Right of Way showing the parties who have interest in it.  
Could you forward them the documents they are looking for?

Best,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Sent:** Wednesday, August 21, 2019 5:00 PM  
**To:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Cc:** Edward Champy <[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com)>; Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
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## Annie Streetman

---

**From:** Susan M. Collins <Sue@collinslawoffices.com>  
**Sent:** Thursday, August 22, 2019 10:49 AM  
**To:** Joseph Lariccia  
**Cc:** Lauren DiLorenzo; Edward Champy; Annie Streetman  
**Subject:** Re: Winthrop Estates Definitive Subdivision - Right-of-Way Documents  
**Attachments:** Title Exam - 551 Winthrop Street, Medford, MA.pdf

Attached is a copy of the title report for 551 Winthrop Street. Attached to the title report are copies of old plans which show the right of way (see sheets 10 and 21). The right of way is for the benefit of the owners of the Rust parcel and Gleason parcel pursuant to the deed of easement (see sheet 4).

Please feel free to call or e-mail me with any questions.

Sue Collins

On 8/22/2019 10:25 AM, Joseph Lariccia wrote:

Good Morning Sue,

The CD Board is requesting the documents of the existing Right of Way showing the parties who have interest in it. Could you forward them the documents they are looking for?

Best,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Sent:** Wednesday, August 21, 2019 5:00 PM  
**To:** Joseph Lariccia <[JLaRiccia@waypointcompanies.com](mailto:JLaRiccia@waypointcompanies.com)>  
**Cc:** Edward Champy <[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com)>; Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
**Subject:** Winthrop Estates Definitive Subdivision - Right-of-Way Documents

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--

Sincerely,

Susan M. Collins  
Collins & Collins  
550 Cochituate Road  
East Wing, Suite 25  
Framingham, MA 01701

Tel: (508) 358-2630  
Fax: (508) 358-2690

E-mail: [sue@collinslawoffices.com](mailto:sue@collinslawoffices.com)

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**ARONSON & NOVICKI**  
**Title Examinations**  
PO Box 410305, Cambridge, MA 02141  
(e-mail) [aronson\\_novicki@comcast.net](mailto:aronson_novicki@comcast.net)  
(web) [www.aronsonandnovicki.com](http://www.aronsonandnovicki.com)  
**REPORT**

**Client & File :** **SEYFARTH : 923** **A & N File : 140301**  
**County:** **Middlesex South**  
**Locus :** 551 Winthrop Street , Medford

		Sheet #
<b>Owner:</b>	Ella J. Stephens, Trustee of EJS-2 Realty Trust, udt dated 4/28/95 @ 973566, Deborah Jordan successor Trustee...	14
<b>Description-</b>	Deed: Certificate 202118 Bk 1140 Pg 168 and 973565	2,11
	Plan: 13387A	21

**Subject To**

- |    |  |    |
|----|--|----|
| 1. | Any matters of record, prior to the starting point of this exam  |    |
| 2. | Right of way 12 feet wide as shown on plan and set forth in deed @ 5175-363  | 4  |
| 3. | Grant of Easement set forth @ 274520   | 7  |
| 4. | Declaration of Trust @ 973566  | 14 |
| 5. | Note Trustee Ella J. Stephens is deceased...06P2924. Appointment of trustee to be registered along with death certificate... | 20 |

Marginal references are unreliable, and Institutional mortgages have not been scheduled for assignments or discharges, unless by request. Bankruptcy indices are only available for Suffolk County titles. This is a report based upon a search of the records of the Registry of Deeds. It is not a certification of title. We shall not be liable for mistakes in the Registry indices or records. Our liability shall be limited to the charge for this report.

**Exam Begins:** 10/26/1943  
**Exam Ends** 04/30/2014

**Aronson & Novicki, by Bill Novicki**

OWNERS CHAIN

1

959/15 STEPHENS, ELLA J. (DOB 12/14/14) 202118 2 1140-168  
(JORDAN, DEBRAH)  
- 4/30/14 ✓  
P\* 06P 2924  
D ✓ EV

EJS-2 REALTY TRUST

B ✓ R ✓

716/11 STEPHENS, MILTON A 134892 804-142  
, ELLA J

B ✓ R ✓

4310/16 STASIN, FRED JEXTER 53414 357-381  
, PEAM A.

B ✓ R ✓

# Transfer Certificate of Title.

BK.1140 PG.168

No. 202118

From Transfer Certificate No. 134892 in Registration Book 804, Page 142  
Originally Registered June 1, 1971 for the South Registry District of  
Middlesex County

## This is to Certify that

Ella J. Stephens, of Medford in the County of Middlesex and  
Commonwealth of Massachusetts, Trustee of EJS-2 Realty Trust under a  
Declaration of Trust dated April 28, 1995, and registered May 15, 1995, being  
Document No. 973566, filed in the Land Registration Office for the South  
Registry District of Middlesex County,

is the owner in fee simple,

situate in Medford

of that certain parcel of land

in the County of Middlesex and said Commonwealth, described as follows:

Southwesterly by the Northeasterly line of Winthrop Street,  
one hundred eighty-three and 50/100 feet;  
Northwesterly by land now or formerly of Charles W. Miller et al,  
one hundred fifty-one and 12/100 feet;  
Northeasterly, ten and 25/100 feet, and  
Northwesterly, one hundred thirty-five feet by land now or formerly  
of Mabelle F. Gleason;  
Northeasterly by land now or formerly of Rosalie A. Rust,  
ninety-three and 80/100 feet; and  
Southeasterly by land now or formerly of Mary K. O'Sullivan,  
two hundred thirty-five and 75/100 feet.

All of said boundaries are determined by the Court to be located as shown on  
a plan, as modified and approved by the Court, filed in the Land Registration  
Office, a copy of a portion of which is filed in the Registry of Deeds for the  
South Registry District of Middlesex County in Registration Book 195, Page 5,  
with Certificate 29082, (Plan No. 13387A).

So much of the above described land as is included within the limits of the  
way twelve feet wide, as shown on said plan, is subject to the rights of all  
persons lawfully entitled thereto in and over the same, as set forth in a deed  
given by Belle S. Davis to Rosalie A. Rust et al, dated Mar. 29, 1926 duly  
recorded in Book 5175, Page 363.

And it is further certified that said land is under the operation and  
provisions of Chapter 185 of the General Laws and any amendments thereto, and  
that the title of said

Ella J. Stephens, Trustee as aforesaid,

to said land is registered under said Chapter subject, however, to any of the  
encumbrances mentioned in Section forty-six of said Chapter, and any  
amendments thereto, which may be subsisting, and subject also as aforesaid.

Witness ROBERT V. CAUCHON, Chief Justice of the Land Court, Department of  
the Trial Court, at Cambridge in said County of Middlesex

the fifteenth day of May the year nineteen hundred and ninety-five  
at 9 o'clock and 25 minutes in the fore-noon.

Attest, with the Seal of said Court,

*L. C. B...*  
Assistant Recorder

Address of owner: 541 Winthrop Street, Medford, MA 02155

Land Court Case No. 13387

ID# 780



## DOCUMENT

274520 ✓

KIND:  
IN FAVOR OF:

TERMS:

DATE OF INSTR:  
DATE OF REG:

SIGNATURE:

Grant of EasementFred Dexter Sabin et ux to  
William J. Moran et ux  
Granting perpetual right and easement through  
part within described land.  
Pl. attached. See Doc.

Oct. 3, 1953

TIME OF REG: 2:20 PM

Oct. 6, 1953

Asst. Recorder

973566 ✓

KIND:  
IN FAVOR OF:

TERMS:

DATE OF INSTR:  
DATE OF REG:

SIGNATURE:

Declaration of TrustElla J. Stephens, Tr. of EJS-2 Realty Trust  
See Document

Apr. 28, 1995

TIME OF REG: 9:25 AM

May 15, 1995

Asst. Recorder

984355 ✓

KIND:  
IN FAVOR OF:  
TERMS:DATE OF INSTR:  
DATE OF REG:

SIGNATURE:

ReleaseReleasing Estate Tax Lien  
(Milton A. Stephens, Estate)

July 17, 1995

TIME OF REG: 8:56 AM

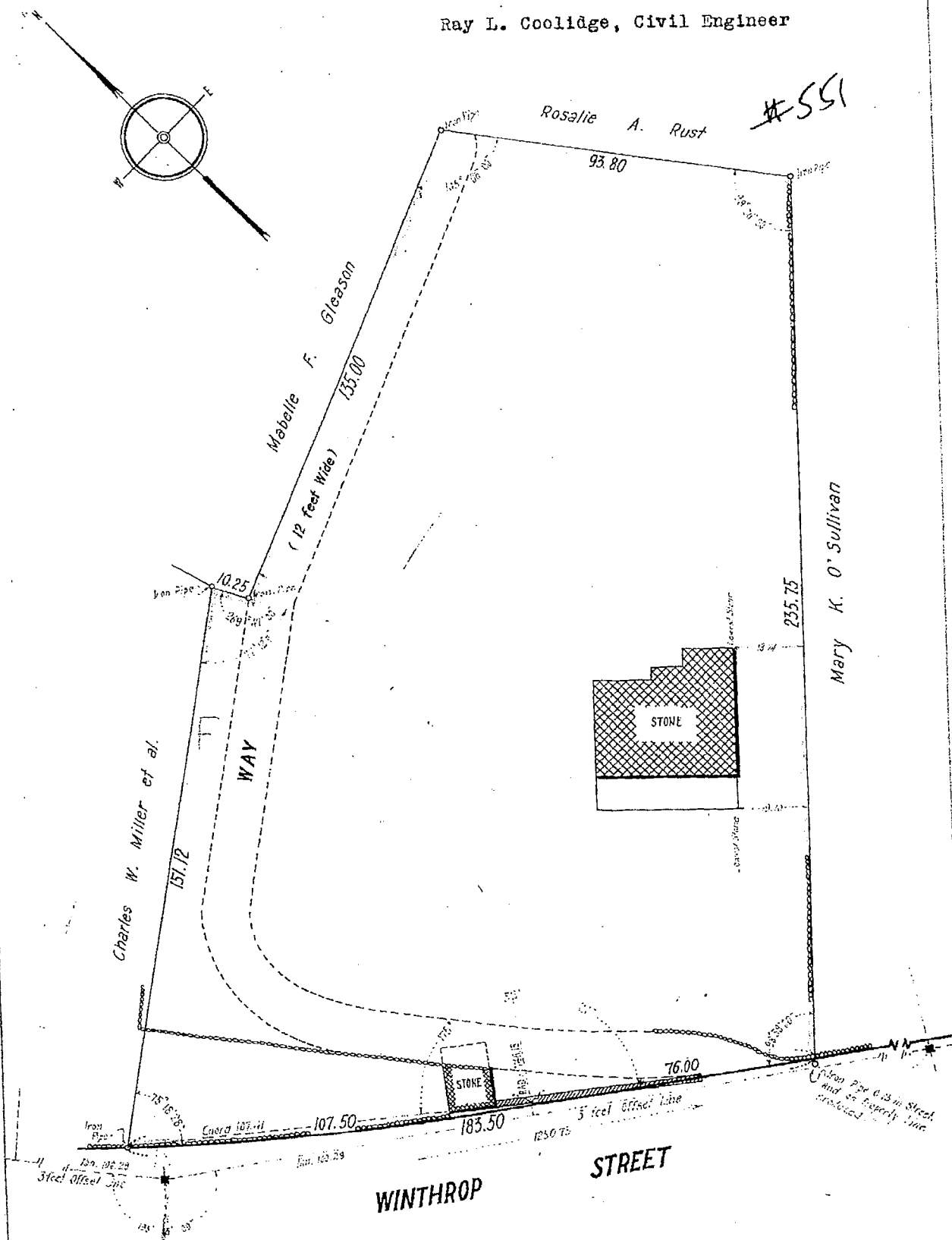
Oct. 14, 1995

Asst. Recorder

## 21

DEC. 10, 1928

Ray L. Coolidge, Civil Engineer



U.S. DEPARTMENT OF JUSTICE  
FEDERAL BUREAU OF INVESTIGATION  
JUN 14 1929

RECEIVED FOR REGISTRATION  
9 O'CLOCK 57 9 M

Copy of part of plan  
filed in  
LAND REGISTRATION OFFICE  
FEB. 14, 1929

## Annie Streetman

**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Sent:** Thursday, August 22, 2019 11:07 AM  
**To:** Susan M. Collins  
**Cc:** Lauren DiLorenzo; Edward Champy; Annie Streetman  
**Subject:** RE: Winthrop Estates Definitive Subdivision - Right-of-Way Documents

Thanks Susan

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



**From:** Susan M. Collins <Sue@collinslawoffices.com>  
**Sent:** Thursday, August 22, 2019 10:49 AM  
**To:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Cc:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>; Edward Champy <ecinvest@yahoo.com>; Annie Streetman <astreetman@medford-ma.gov>  
**Subject:** Re: Winthrop Estates Definitive Subdivision - Right-of-Way Documents

Attached is a copy of the title report for 551 Winthrop Street. Attached to the title report are copies of old plans which show the right of way (see sheets 10 and 21). The right of way is for the benefit of the owners of the Rust parcel and Gleason parcel pursuant to the deed of easement (see sheet 4).

Please feel free to call or e-mail me with any questions.

Sue Collins

On 8/22/2019 10:25 AM, Joseph Lariccia wrote:

Good Morning Sue,

The CD Board is requesting the documents of the existing Right of Way showing the parties who have interest in it. Could you forward them the documents they are looking for?

Best,

JJ LaRiccia  
Project Engineer

Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Sent:** Wednesday, August 21, 2019 5:00 PM  
**To:** Joseph Lariccia <[JLaRiccia@waypointcompanies.com](mailto:JLaRiccia@waypointcompanies.com)>  
**Cc:** Edward Champy <[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com)>; Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
**Subject:** Winthrop Estates Definitive Subdivision - Right-of-Way Documents

Hello JJ,

Could you please provide us with a copy of the Right-of-Way documents showing the parties who have an interest in it?

Thank you,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

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--  
Sincerely,

Susan M. Collins  
Collins & Collins  
550 Cochituate Road  
East Wing, Suite 25  
Framingham, MA 01701

Tel: (508) 358-2630

Fax: (508) 358-2690

E-mail: sue@collinslawoffices.com

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**Annie Streetman**

---

**From:** Lauren DiLorenzo  
**Sent:** Friday, August 23, 2019 11:07 AM  
**To:** Edward Champy  
**Cc:** Ann Marie Irwin; DePriest, John; Annie Streetman  
**Subject:** Taxes

Hello Ed,

The Treasurer has informed us that you have outstanding taxes due on the properties before the CD Board. The City requires taxes to be current before any approvals or permits be issued on projects. Please provide this office with proof of payment and undue balance no later than September 10<sup>th</sup>, prior to the continued public hearing scheduled for the 11<sup>th</sup>. Thank you

## Annie Streetman

---

**From:** Edward Champy III <ecinvest@yahoo.com>  
**Sent:** Friday, August 23, 2019 11:39 AM  
**To:** Lauren DiLorenzo  
**Cc:** Ann Marie Irwin; DePriest, John; Annie Streetman  
**Subject:** Re: Taxes

I'll let accounting know to moat this

Thanks

Ed

Sent from my iPhone

On Aug 23, 2019, at 11:07 AM, Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)> wrote:

Hello Ed,

The Treasurer has informed us that you have outstanding taxes due on the properties before the CD Board. The City requires taxes to be current before any approvals or permits be issued on projects. Please provide this office with proof of payment and undue balance no later than September 10<sup>th</sup>, prior to the continued public hearing scheduled for the 11<sup>th</sup>. Thank you

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## Annie Streetman

---

**From:** Annie Streetman  
**Sent:** Thursday, August 22, 2019 4:36 PM  
**To:** Lauren DiLorenzo  
**Subject:** FW: Winthrop Street Project

**From:** Ann Marie Irwin  
**Sent:** Thursday, August 22, 2019 4:23 PM  
**To:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Subject:** RE: Winthrop Street Project

Hi Annie-  
The taxes for 541 Winthrop Street have not been paid in FY 2019 or FY 2020. Similarly, 551 Winthrop has a small outstanding tax liability for FY 2019 and no taxes have been paid in FY 2020. Our records reflect the owner of both properties as "Winthrop Street Development, LLC" with a billing address of 115 Newbury Street, Unit 304, Boston 02116. Please let me know if you need anything further.  
Ann Marie

**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Sent:** Thursday, August 22, 2019 10:02 AM  
**To:** Ann Marie Irwin <[airwin@medford-ma.gov](mailto:airwin@medford-ma.gov)>  
**Cc:** Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
**Subject:** Winthrop Street Project

Good morning Ann Marie,

Could you please advise if the Winthrop Street subdivision that will be coming before the Community Development Board in September has all of its taxes paid? The address is 541 & 551 Winthrop Street and the owner is Waypoint Development.

Thank you,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)



## Annie Streetman

---

**From:** Lauren DiLorenzo  
**Sent:** Friday, August 23, 2019 9:32 AM  
**To:** Annie Streetman  
**Subject:** Re: Winthrop Street Project

Pease get the amount past and current due

*Lauren DiLorenzo, Director*

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

ldilorenzo@medford-ma.gov

**From:** Annie Streetman <astreetman@medford-ma.gov>  
**Date:** Thursday, August 22, 2019 at 4:36 PM  
**To:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Subject:** FW: Winthrop Street Project

**From:** Ann Marie Irwin  
**Sent:** Thursday, August 22, 2019 4:23 PM  
**To:** Annie Streetman <astreetman@medford-ma.gov>  
**Subject:** RE: Winthrop Street Project

Hi Annie-

The taxes for 541 Winthrop Street have not been paid in FY 2019 or FY 2020. Similarly, 551 Winthrop has a small outstanding tax liability for FY 2019 and no taxes have been paid in FY 2020. Our records reflect the owner of both properties as "Winthrop Street Development, LLC" with a billing address of 115 Newbury Street, Unit 304, Boston 02116. Please let me know if you need anything further.  
Ann Marie

**From:** Annie Streetman <astreetman@medford-ma.gov>  
**Sent:** Thursday, August 22, 2019 10:02 AM  
**To:** Ann Marie Irwin <airwin@medford-ma.gov>  
**Cc:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Subject:** Winthrop Street Project

Good morning Ann Marie,

Could you please advise if the Winthrop Street subdivision that will be coming before the Community Development Board in September has all of its taxes paid? The address is 541 & 551 Winthrop Street and the owner is Waypoint Development.

Thank you,

Annie

**Annie Streetman**

*Land Use Planner*

Office of Community Development

City of Medford

781-393-2480

[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

## Annie Streetman

---

**From:** Annie Streetman  
**Sent:** Friday, August 23, 2019 10:22 AM  
**To:** Lauren DiLorenzo  
**Subject:** FW: Winthrop Street Project

**From:** Ann Marie Irwin  
**Sent:** Friday, August 23, 2019 9:55 AM  
**To:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Subject:** RE: Winthrop Street Project

Hi Annie-  
This is all past due. Quarter 2 taxes are not due until November 1.  
AM

**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Sent:** Friday, August 23, 2019 9:33 AM  
**To:** Ann Marie Irwin <[airwin@medford-ma.gov](mailto:airwin@medford-ma.gov)>  
**Subject:** RE: Winthrop Street Project

Hi Ann Marie,

Out of this amount, what is the breakdown of past due and current due?

Thank you very much for your help,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

**From:** Ann Marie Irwin  
**Sent:** Friday, August 23, 2019 9:28 AM  
**To:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Subject:** RE: Winthrop Street Project

Hi Annie-  
Our records indicate a balance of \$3835.77 is outstanding on 541 Winthrop and \$1114.53 is outstanding on 551 Winthrop.  
The total owed by Winthrop Street Development at these two properties is \$4950.30.

Let me know if you need anything else.  
Have a nice weekend.  
Ann Marie

**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Sent:** Friday, August 23, 2019 9:01 AM  
**To:** Ann Marie Irwin <[airwin@medford-ma.gov](mailto:airwin@medford-ma.gov)>  
**Subject:** RE: Winthrop Street Project

Hi Ann Marie,

Do you know the total amount of the outstanding taxes for the two properties?

Thank you,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

**From:** Ann Marie Irwin  
**Sent:** Thursday, August 22, 2019 4:23 PM  
**To:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Subject:** RE: Winthrop Street Project

Hi Annie-

The taxes for 541 Winthrop Street have not been paid in FY 2019 or FY 2020. Similarly, 551 Winthrop has a small outstanding tax liability for FY 2019 and no taxes have been paid in FY 2020. Our records reflect the owner of both properties as "Winthrop Street Development, LLC" with a billing address of 115 Newbury Street, Unit 304, Boston 02116. Please let me know if you need anything further.  
Ann Marie

**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Sent:** Thursday, August 22, 2019 10:02 AM  
**To:** Ann Marie Irwin <[airwin@medford-ma.gov](mailto:airwin@medford-ma.gov)>  
**Cc:** Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
**Subject:** Winthrop Street Project

Good morning Ann Marie,

Could you please advise if the Winthrop Street subdivision that will be coming before the Community Development Board in September has all of its taxes paid? The address is 541 & 551 Winthrop Street and the owner is Waypoint Development.

Thank you,

Annie

**Annie Streetman**

*Land Use Planner*

Office of Community Development

City of Medford

781-393-2480

[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

## Annie Streetman

---

**From:** Edward Champy <ecinvest@yahoo.com>  
**Sent:** Tuesday, August 27, 2019 9:53 AM  
**To:** Lauren DiLorenzo  
**Cc:** 'DePriest, John'; Tim McGivern; Annie Streetman; 'David Giangrande'; Joseph Lariccia  
**Subject:** RE: Winthrop Estates Subdivision, City Engineer comments

Good morning,

We are drafting a response to Tim's comments and will forward when complete.

Ed

**From:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Sent:** Thursday, August 15, 2019 11:55 AM  
**To:** Edward Champy <ecinvest@yahoo.com>  
**Cc:** DePriest, John <JDePriest@chelseama.gov>; Tim McGivern <tmcgivern@medford-ma.gov>; Annie Streetman <astreetman@medford-ma.gov>  
**Subject:** Winthrop Estates Subdivision, City Engineer comments

Hello Ed,  
Yesterday I received a copy of the City Engineer's comments to the CD Board Chairman regarding your revised submission. As you know, you and the Board had a mutually agreed upon extension until 30 days from September 11<sup>th</sup>. I think it would be prudent for you to address the Engineer's comments and submit the information he identifies as necessary for his review and recommendation prior to the meeting. I would expect that the Board would rely on the Engineer's recommendation to approve, deny or approve with conditions. If he does not have sufficient information I don't see how a favorable decision can be reached on the 11<sup>th</sup>.

*Lauren DiLorenzo, Director*

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)

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## Annie Streetman

---

**From:** Tim McGivern  
**Sent:** Tuesday, August 27, 2019 4:56 PM  
**To:** Lauren DiLorenzo  
**Cc:** Annie Streetman  
**Subject:** FW: 541 & 551 Winthrop Street

FYI

**Timothy J. McGivern, PE**  
City Engineer

**From:** Edward Champy <ecinvest@yahoo.com>  
**Sent:** Tuesday, August 27, 2019 9:40 AM  
**To:** Tim McGivern <tmcgivern@medford-ma.gov>  
**Subject:** 541 & 551 Winthrop Street

Good morning Tim,

I stopped by the building department yesterday letting John know we are moving equipment onsite this week to support the testing for the recharge system in its most recent proposed location.

We will distribute flyers in the neighborhood letting neighbors know this is part of the testing/planning process and not the beginning of construction.

The engineering team will respond to your comments regarding the individual recharge locations as part of our upcoming response.

Sincerely,

Ed Champy  
617 201 4780

## **Annie Streetman**

---

**From:** Annie Streetman  
**Sent:** Wednesday, September 04, 2019 4:45 PM  
**To:** Edward Champy  
**Cc:** Lauren DiLorenzo; Joseph Lariccia  
**Subject:** Additional Department Head Letters - 541 & 551 Winthrop St  
**Attachments:** Frank Giliberti\_Fire Chief\_WithropSt\_Revised\_Aug2019.pdf; MaryAnn OConnor\_Director of Public Health\_WithropSt\_Revised\_Aug2019.pdf

Good afternoon,

Attached please find comment letters submitted by Frank A. Giliberti, Jr., Chief of Fire and MaryAnn O'Connor, Director of Public Health regarding the revised materials and resolution report for 541 & 551 Winthrop Street. You have already received the letter that was submitted by Tim McGivern, City Engineer. As a reminder, next week's meeting is on Wednesday, September 11 at 6:00 p.m. in the City Hall Council Chambers.

Thank you,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)





FRANK A. GILIBERTI, JR.  
*Chief of Department*

## MEDFORD FIRE DEPARTMENT

120 Main Street  
Medford, Massachusetts 02155-4510

Emergency - 911  
Business (781) 396-9400  
Fire Prevention (781) 396-9831



FAX: (781) 396-4377  
TDD: (781) 395-7587

August 26, 2019

Mr. John DePriest  
Chairman  
Community Development Board  
Medford, MA 02155

RE: Definitive Subdivision Plan – Winthrop Estates Subdivision, 515 and 523 Winthrop Street

Dear Chairman DePriest:

I have reviewed the definitive subdivision plan for the Winthrop Street Subdivision along with the resolution report of July 2, 2019. There remains two outstanding conditions for approval that have yet to be addressed:

- Removal of the landscaped island in center of cul-de-sac for better access and maneuverability of emergency vehicles.
- The 12-foot right-of-way for access to 553-555 Winthrop Street shall be repaved (all-weather roadway) and shall be as wide as boundaries allow for emergency vehicle access.
- **In addition, I strongly recommend the installation of an approved system of automatic sprinklers throughout all dwellings in accordance with National Fire Protection Association Standard 13D – Sprinkler Systems in One and Two-Family Dwellings and Manufactured Homes.**

Sincerely,

Frank A. Giliberti, Jr.  
Chief of Department

FAG:dh



MaryAnn O'Connor,  
Director of Public Health

# City of Medford

BOARD OF HEALTH

City Hall - Room 311

85 George P Hassett Drive

Medford, Massachusetts 02155

Telephone

(781) 393-2560

FAX: (781) 393-2562

TDD: (781) 393-2516

**To:** John DePriest, Chairman Community Development Board

**From:** MaryAnn O'Connor, Director of Public Health

**Date:** August 14, 2019

**Re:** Revised Site Plan Review – Revised Subdivision Plan - 541 and 551 Winthrop St.

I have reviewed the revised plans, documents and the accompanying written response to the Board of Health comments submitted by Waypoint Development for the proposed ten lot subdivision.

While many Health Department concerns are adequately addressed in writing some items require more detailed information along with constant communication and reporting throughout the construction phase.

Waypoint Development shall submit a **written plan for proper dust remediation**. Equipment for dust remediation must be located on site and used as necessary and frequently. Dust remediation should be done using water trucks or calcium chloride. Streets will be kept clean at the close of every workday. Waypoint must provide contact information for the Construction supervisor who shall contact the Health Department (Senior Sanitarian, Allison Conboy) by email or phone on a regular basis noting dates when dust remediation measures are implemented.

**A detailed solid waste plan must be submitted to the Board of Health.** A sufficient number of dumpsters from Licensed Dumpster Companies must be present and properly maintained in a clean and sanitary manner with all waste well secured throughout the project. **Dumpster permits** must be obtained for all dumpsters prior to construction beginning. Removal and disposal practices must comply with the dumpster regulation.

**Integrated Pest Management is required** - A thorough Pest control plan by a licensed Pest control company must be submitted to the Health Department prior to the start of construction. The pest control plan shall detail existing site conditions, any rodent and potential wildlife concerns, the number of bait boxes that will be present at the site along with a map showing the location of the boxes. Pre-demolition and Pre-construction baiting are required. Pest control reports shall be submitted to the Board of Health on a weekly basis at the start of construction. The frequency of pest control reports from a licensed pest control company may be reduced depending on activity and findings on the site.

Thank you for the opportunity to participate in this site plan review.

## Annie Streetman

---

**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Sent:** Thursday, September 05, 2019 9:16 AM  
**To:** Annie Streetman; Edward Champy  
**Cc:** Lauren DiLorenzo  
**Subject:** RE: Additional Department Head Letters - 541 & 551 Winthrop St

Good Morning Annie,

Thanks for these.

Best,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



**From:** Annie Streetman <astreetman@medford-ma.gov>  
**Sent:** Wednesday, September 4, 2019 4:45 PM  
**To:** Edward Champy <ecinvest@yahoo.com>  
**Cc:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>; Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Subject:** Additional Department Head Letters - 541 & 551 Winthrop St

Good afternoon,

Attached please find comment letters submitted by Frank A. Giliberti, Jr., Chief of Fire and MaryAnn O'Connor, Director of Public Health regarding the revised materials and resolution report for 541 & 551 Winthrop Street. You have already received the letter that was submitted by Tim McGivern, City Engineer. As a reminder, next week's meeting is on Wednesday, September 11 at 6:00 p.m. in the City Hall Council Chambers.

Thank you,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

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## Annie Streetman

---

**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Sent:** Thursday, September 05, 2019 3:44 PM  
**To:** Lauren DiLorenzo  
**Cc:** Tim McGivern; Annie Streetman; Edward Champy III  
**Subject:** Winthrop Street Estates-Re-submission

Good Afternoon Lauren,

Just wanted to inform you that I am printing everything tonight and will be re-submitting first thing tomorrow.

Thank you,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



## Annie Streetman

---

**From:** Lauren DiLorenzo  
**Sent:** Thursday, September 05, 2019 3:50 PM  
**To:** Joseph Lariccia  
**Cc:** Tim McGivern; Annie Streetman; Edward Champy III  
**Subject:** Re: Winthrop Street Estates-Re-submission

Please submit everything by 9:00 a.m. tomorrow. A complete set should be delivered directly to Tim McGivern, City Engineer. What are you submitting exactly? Am I to determine how many copies and how they will be distributed for proper review for Weds? You tell me this now? Unacceptable JJ.

*Lauren DiLorenzo, Director*

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

ldilorenzo@medford-ma.gov

**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Date:** Thursday, September 5, 2019 at 3:43 PM  
**To:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Cc:** Tim McGivern <tmcgivern@medford-ma.gov>, Annie Streetman <astreetman@medford-ma.gov>, Edward Champy III <ecinest@yahoo.com>  
**Subject:** Winthrop Street Estates-Re-submission

Good Afternoon Lauren,

Just wanted to inform you that I am printing everything tonight and will be re-submitting first thing tomorrow.

Thank you,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



## Annie Streetman

---

**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Sent:** Thursday, September 05, 2019 3:55 PM  
**To:** Lauren DiLorenzo  
**Cc:** Tim McGivern; Annie Streetman; Edward Champy III  
**Subject:** RE: Winthrop Street Estates-Re-submission

I will be there just after 8:30, I will hand deliver an original set to Tim directly.

I am submitting the following.

- 3 Original Stamped Full-size plan sets
- 10 Half Sized plan sets
- 2 Digital Submissions
- 3 copies of Resolution Report
- 3 Renderings for the Site Plan Elevation
- 3 HOA Architectural Oversight Renderings

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



**From:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Sent:** Thursday, September 5, 2019 3:50 PM  
**To:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Cc:** Tim McGivern <tmcgivern@medford-ma.gov>; Annie Streetman <astreetman@medford-ma.gov>; Edward Champy III <ecinvest@yahoo.com>  
**Subject:** Re: Winthrop Street Estates-Re-submission

Please submit everything by 9:00 a.m. tomorrow. A complete set should be delivered directly to Tim McGivern, City Engineer. What are you submitting exactly? Am I to determine how many copies and how they will be distributed for proper review for Weds? You tell me this now? Unacceptable JJ.

*Lauren DiLorenzo, Director*

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)

**From:** Joseph Lariccia <[JLaRiccia@waypointcompanies.com](mailto:JLaRiccia@waypointcompanies.com)>

**Date:** Thursday, September 5, 2019 at 3:43 PM

**To:** Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>

**Cc:** Tim McGivern <[tmcgivern@medford-ma.gov](mailto:tmcgivern@medford-ma.gov)>, Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>, Edward Champy III <[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com)>

**Subject:** Winthrop Street Estates-Re-submission

Good Afternoon Lauren,

Just wanted to inform you that I am printing everything tonight and will be re-submitting first thing tomorrow.

Thank you,

JJ LaRiccia

Project Engineer

Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)

Cell: 781-439-8684

Office: 781-365-1121



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## Annie Streetman

---

**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Sent:** Thursday, September 05, 2019 4:00 PM  
**To:** Lauren DiLorenzo  
**Cc:** Tim McGivern; Annie Streetman; Edward Champy III  
**Subject:** RE: Winthrop Street Estates-Re-submission

Lauren,

After re-reading your email our submission is directly related to Tim's comments dated August 15<sup>th</sup>, 2019. As we just received approval of the plans of the Superintendent of Wires yesterday.

Thank you,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



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**Sent:** Thursday, September 5, 2019 3:50 PM  
**To:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Cc:** Tim McGivern <tmcgivern@medford-ma.gov>; Annie Streetman <astreetman@medford-ma.gov>; Edward Champy III <ecinest@yahoo.com>  
**Subject:** Re: Winthrop Street Estates-Re-submission

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Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)

**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Date:** Thursday, September 5, 2019 at 3:43 PM

**Cc:** Tim McGivern <[tmcgivern@medford-ma.gov](mailto:tmcgivern@medford-ma.gov)>, Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>, Edward Champy III <[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com)>

**Subject:** Winthrop Street Estates-Re-submission

Good Afternoon Lauren,

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Thank you,

JJ LaRiccia

Project Engineer

Email: [jjlariccia@waypointcompanies.com](mailto:jjlariccia@waypointcompanies.com)

Cell: 781-439-8684

Office: 781-365-1121



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## Annie Streetman

---

**From:** Lauren DiLorenzo  
**Sent:** Friday, September 06, 2019 9:00 AM  
**To:** Edward Champy III; Joseph Lariccia  
**Cc:** Tim McGivern; DePriest, John; Annie Streetman  
**Subject:** Re: Winthrop Street Estates-Re-submission

Ed,

I have no information before me to determine the extent of changes you are submitting today in the plans JJ has referenced. The information must be reviewed by the relevant departments with a reasonable time for that review. I suggest you give me a detailed list of all changes to plans and reports since the plan set dated February 8, 2019 and revised June 24, 2019 and Stormwater Management Report dated March 13, 2019 and Revised June 21, 2019 were circulated for review and comment. It is a very short timeframe for these to be reviewed and written recommendations provided prior to Wednesday night's meeting.

*Lauren DiLorenzo, Director*

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

ldilorenzo@medford-ma.gov

**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Date:** Thursday, September 5, 2019 at 4:00 PM  
**To:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Cc:** Tim McGivern <tmcgivern@medford-ma.gov>, Annie Streetman <astreetman@medford-ma.gov>, Edward Champy III <ecinvest@yahoo.com>  
**Subject:** RE: Winthrop Street Estates-Re-submission

Lauren,

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Thank you,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



**From:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Sent:** Thursday, September 5, 2019 3:50 PM  
**To:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Cc:** Tim McGivern <tmcgivern@medford-ma.gov>; Annie Streetman <astreetman@medford-ma.gov>; Edward Champy III <ecinvest@yahoo.com>  
**Subject:** Re: Winthrop Street Estates-Re-submission

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*Lauren DiLorenzo, Director*

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)

**From:** Joseph Lariccia <[JLaRiccia@waypointcompanies.com](mailto:JLaRiccia@waypointcompanies.com)>  
**Date:** Thursday, September 5, 2019 at 3:43 PM  
**To:** Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
**Cc:** Tim McGivern <[tmcgivern@medford-ma.gov](mailto:tmcgivern@medford-ma.gov)>, Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>, Edward Champy III <[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com)>  
**Subject:** Winthrop Street Estates-Re-submission

Good Afternoon Lauren,

Just wanted to inform you that I am printing everything tonight and will be re-submitting first thing tomorrow.

Thank you,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



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## Annie Streetman

---

**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Sent:** Friday, September 06, 2019 9:37 AM  
**To:** Lauren DiLorenzo; Edward Champy  
**Cc:** DePriest, John; Annie Streetman  
**Subject:** RE: Revised Submission  
**Attachments:** 2010-004 7 17 2019 Stamped Reduced.pdf; City of Medford Questions and Resolutions for Winthrop Street 2019-08-30-FINAL DOC 2019-09-05 (002).pdf; Cover Letter-Winthrop Estates Submission-Revised.pdf

Hi Lauren,

Please see attached digital copies of our re-submission.

Thank you,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



**From:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Sent:** Friday, September 6, 2019 9:20 AM  
**To:** Edward Champy <ecinest@yahoo.com>; Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Cc:** DePriest, John <JDePriest@chelseama.gov>; Annie Streetman <astreetman@medford-ma.gov>  
**Subject:** Revised Submission

Hello Ed,

Annie has told me she has received your submission which includes bound report, plans etc. Please send a digital copy of all information so I may send it to Board members prior to the meeting. Thank you

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Ms. Lauren DiLorenzo  
Office of Community Development  
Medford City Hall, Room 308  
85 George P Hassett Dr,  
Medford, Massachusetts 02155

Dear Ms. DiLorenzo,

Attached please find revised drawings and supporting documents for our proposed subdivision on Winthrop Street in Medford MA. As specified by the Planning Board, Winthrop Street Estates is an unacceptable street name for the proposed development due to its similarity to Winthrop Street. Waypoint would like to name the proposed development Ledgewood Estates. After some research, Ledgewood is not a street name in the City of Medford. Due to time being of importance, Waypoint is requesting permission to begin digging the first foundation before the binder of the road is installed.

The following materials are a part of this submission:

- 3 Original Stamped Full-size plan sets (A set for City Engineer and Office of Community Development Board, one additional set)
- 9 Half Sized plan sets
- 2 Digital Submissions
- 3 copies of Resolution Report
- 3 Renderings for the Site Plan Elevation
- 3 HOA Architectural Oversight Renderings

The Resolution report documents each specific comment made by the city departments that reviewed the submittal and how each comment was addressed. Please distribute a copy of the resolution report along with the revised submittal materials to facilitate review of the updated project documents. It is our understanding that Waypoint's design team and consultants have satisfactorily addressed each comment through the plan and analysis revisions; or have provided written responses where plan changes were not required.

Should you have any questions regarding this submittal, or any other aspect of this project, I can be reached by phone or email.

Sincerely,



Ed Champy  
Principal  
Waypoint Development

# **RESOLUTION REPORT**

**FOR**

**541-551 Winthrop Street  
Medford, MA**

**10-Lot Subdivision**

**Prepared for:**

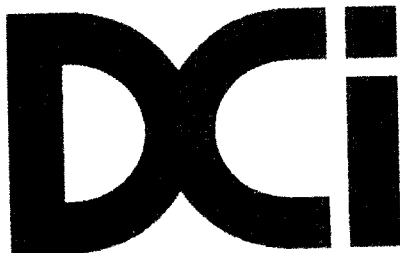
Waypoint Development  
5 Broadway, Suite 200B  
Saugus, MA 01906

**Prepared by:**

Design Consultants, Inc.  
120 Middlesex Avenue, Suite 20  
Somerville, Massachusetts 02145-1104

Project 2017-003

Revised: September 5, 2019



Design Consultants Inc.  
Somerville - Quincy - Newburyport  
[www.dci-ma.com](http://www.dci-ma.com)



**City of Medford**  
**Questions and Resolutions for Winthrop Street**  
**July 3, 2019**

Following are the comments received for the Winthrop Street Subdivision, along with the resolutions proposed or completed by the owner and project team.

**From: Timothy McGivern, City Engineer**  
**August 13<sup>th</sup> 2019**  
**Winthrop Estates Definitive Subdivision**

**The Certificate**

1. *The Plan appears to show topography that is consistent with the Preliminary Plan. The Engineering Division memo referenced in the Certificate requires that the Preliminary Plan be revised to include contours that reflect the current conditions at the site. The Plan does not reflect the current topography at the site. The Plan should be revised to reflect the current topography at the site.*

*It should be noted that a critical step in the subdivision process is providing an accurate estimate of the proposed work. A significant cost associated with this project is rock removal and an accurate topography of existing conditions should be included in the Plan.*

**DCI Response:** "DCI has included an existing condition plan in the revised plan set. DCI has surveyed the ledge area that was excavate and revised the contours to reflect the changed condition"

**The comment is addressed on the plans; however, it remains open for the following recommendation. The Engineering Division recommends that the Proponent submit a cut and fill analysis that reflects the final design. This analysis must include all relevant volumes that are required to perform a cost estimate of the required earthwork.**

***Resolution 2: DCI will be submitting cut and fill computation under separate cover.***

2. *The Plan does not appear to indicate that it is prepared using the North American Vertical Datum of 1988 (NAVD 88). The Plan should be revised so all elevations and*

contours are on NAVD 88. All benchmarks should be revised accordingly.

DCI Response: "The benchmark for the subject site was taken from the original existing conditions plan. Given this comment, DCI will provide a closed level to verify the NAVD 88 datum with Neponset Valley Survey's datum."

**The Engineering Division takes no exception to this approach; however, the Plan does not indicate on the Existing Conditions drawing that the datum is confirmed. Once the datum is confirmed, a note should be placed on the Plan indicating the vertical datum.**

***Resolution 2: The datum has been confirmed and a note stating the datum is now on the Existing Conditions Plan.***

3. *The Certificate requires that:*

*"The entrance to the twelve (12) foot right of way from Winthrop Street should be re-evaluated to consider a connection to the new proposed road versus an additional curb cut from Winthrop Street."*

*The Engineering Division did not receive an evaluation for connecting the existing right of way (ROW) to the proposed roadway. The existing ROW contains a shared driveway for the homes at 555 and 553 Winthrop Street. This driveway intersects Winthrop Street, a Class A roadway, at an acute angle and significant grade change. This shared driveway is located on one of the existing parcels of the Plan.*

*The location of the proposed roadway appears to provide an opportunity to improve this existing condition. The existing parcel that contains the ROW becomes area that is used for the larger subdivision; however, the rights of the way must be preserved in the new subdivision. The proposed roadway parcel provides the opportunity for a shared driveway easement from the new Class C roadway and remove it from the Class A roadway. In other words, having the driveway be perpendicular to a "quiet" street instead of at an angle to a "busy" street like Winthrop Street is preferred and should be thoroughly evaluated by the proponent to the satisfaction of the Board.*

DCI Response: "The 12-foot right-of-way has been connected to the new road and a new easement has been shown on the plan."

**The Plan indicates that the subject driveway is now connected to the new road via the driveway for Lot 1. This is an improvement to the existing condition. The Board should determine if the Proponent evaluated this driveway to their satisfaction.**

***Resolution 2: Awaiting Planning Board's response.***

5. *The Certificate requires that:*

*"The Developer should coordinate with the Complete Street representative and Walk Medford representative to ensure safe pedestrian, bicycle and travel to and along Winthrop Street to Medford High School."*

*The documents received by the Engineering Division did not include correspondence or other material demonstrating compliance with this requirement. The proponent should address this item to the satisfaction of the Board.*

DCI Response: "The owner has met and coordinated with the Complete Streets representative and her comments were incorporated into the plan"

**The Engineering Division received a copy of the comments provided by Walk Medford to Waypoint Companies. The comments are summarized below and are adopted by the Engineering Division as advised by Walk Medford:**

- 5a. **During construction the project shall maintain pedestrian access along the north side of Winthrop Street. This includes sidewalk snow removal, and removal of construction debris and sediment. Walk Medford and the Engineering Division recommend signage warning pedestrians of blasting as they approach.**

***Resolution 2: Specific notes have been added to the plan to require removal of snow, ice & debris, also additional signs have been added for blasting zone.***

- 5b. **The development abuts the High School parcel. The Plan indicates pedestrian**

connectivity from Winthrop Estates to the High School; however, there is an opportunity for a more direct connection. The Proponent should evaluate alternate pedestrian connectivity to the High School via a trail and easement. Walk Medford and the Engineering Division acknowledge this has topographic challenges; however, it appears feasible.

*Resolution 2: The request for evaluating a more direct connection from the Winthrop Street to Medford High School is understood. Proponent will engage in a conversation with the neighboring property at 525 Winthrop St and Walk Medford to further discuss this route.*

## **General**

9. *The Plan includes a note on sheet C5.1 that has missing information related to blasting hours. The Plan should be revised to include this information.*

DCI Response: "Blasting hours have been added to CS.1."

The comment appears to be addressed; however, the project will require a blasting permit from the Medford Fire Department. The hours of blasting should be confirmed during that process.

The GT series included as part of the Plan includes information pertaining to rock excavation by blasting. The Engineering Division recommends that the Proponent obtain and submit a letter to the Board from the Medford Fire Department approving the applicable plan set sheets for blasting. The Engineering Division also recommends that the Board indicate in their approval that final blasting requirements are subject to approval by the MFD.

*Resolution 2: Waypoint has been in contact with the Medford Fire Department regarding additional correspondence.*

10. *The drawings included in the Plan have inconsistent title blocks and numbering series. The Plan should be revised to be a consistent set of drawings that have the same title block, dates, and sheet numbering system.*

DCI Response: "DCI has worked with subcontractors to modify numbering and title blocks."

**This comment is not addressed. For example, the GT and L series have a different titleblock than the C series. Another example is the GT series refers to a total set of five (5) drawings, however, they are part of a 22 sheet plan set. These issues must be resolved in the next submission. It should also be noted that all sheets must include the signatory block for the Board.**

***Resolution 2: The GT and L series now use a consistent title block. Any reference to sheet x of x have been removed. All sheets now include the signatory block for the Board.***

11. *The Plan includes requirements for "Rock Excavation, Rock Face Cleaning & Rock Dowel Installation". Note 2 under these requirements indicates "lifts". The Plan should be revised to include heights of the lifts required in each step of the construction process. This should include, but is not limited to, the minimum height of rock face prior to stabilization, and the height of vegetated slopes prior to stabilization.*

DCI Response: "(per Frank Leathers, GEI): Drawing GT-5, Section titled "Rock Excavation, Rock Face Cleaning and Rock Dowel Installation", Note 2 - sentence has been added "Maximum excavation lift height shall be 9 feet below top of rock or lowest previously installed row of dowels.""

**The comment is not fully addressed. Please revise the Plan to include the height of vegetated slopes prior to stabilization.**

***Resolution 2: The maximum grade change from the bottom of the top 1:1 vegetated slope will be 10'. Vegetated slopes will be stabilized with hydoseeding and/or erosion control netting within 48 hours of spreading loam.***

12. *The Plan includes a photometric analysis. This analysis appears to be missing a light near Lot 4. The photometric analysis should be revised to include this missing light, and all other site lights.*

DCI Response: The landscape architect has modified the photogrammetric analysis.

**The Engineering Division recommends that the Proponent obtain and submit a letter to the Board from the Superintendent of Wires approving the Lighting Plan. The Engineering Division also recommends that the Board indicate that the Lighting Plan is subject to approval of the Superintendent of Wires prior to construction.**

***Resolution 2: Waypoint has gained approval from the Medford Superintendent of Lights & Wires, Steve Ramdazzo.***

13. *The Plan does not include sawcuts and street restoration requirements for the excavations proposed in Winthrop Street. The Plan should be revised to include all street restoration requirements including extents, materials, and details.*

DCI Response: "DCI has included limits of saw cuts and street restoration on the plan."

**The Plan does not indicate final pavement restoration limits. Due to the extent of utility work, the Street Opening Permit will require the temporary patches to be milled and overlaid curb-to-curb with at least a 10-foot offset from the trench limits perpendicular to the curb line. The Plan should be revised to include final pavement restoration limits and street marking restoration including applicable details.**

***Resolution 2: The final pavement restoration limits have been revised to include a 10-foot offset from the trench limits. The Trench Within Existing Pavement detail has been revised to be consistent with the plans.***

19. *The Plan includes detail sheets; however, it appears that some of the utility details do not match existing City standards (For example, sanitary sewer manholes require boots, not grouted connections.) The Proponent should review the detail sheet and confirm that they match City standard details. The details should be revised accordingly if they do not match. The Plan should also be revised to include all applicable details. For example, a curb cut detail is applicable and should be shown; a water main trench detail is applicable and should be shown, etc. The review of these details is reserved for a subsequent submission to the Engineering Division.*

DCI Response: "DCI has requested City detail sheet and revised the detail sheet to be consistent with the City of Medford's requirements."

**The Engineering Division provided the Proponent with typical construction details that meet the City standards. As applied to this project the Engineering Division has the following comments:**

- 19a. Detail 2 on C6.3 is titled "Wheelchair Ramp-Winthrop Street"; however, it is tagged at Lorraine Road in plan view. Please clarify and revise as needed.**

*Resolution 2: The detail and callouts have been revised to be consistent.*

- 19b. The diameter of the roadway drainage access point is not shown on Detail 8 on C6.2. The proponent should confirm that the manhole design meets OSHA standards for maintenance worker access. Please review and revise as needed.**

*Resolution 2: The diameter of the manhole is now shown on the detail.*

- 19c. Detail 7 on Sheet C6.0 includes a reference to existing water service couplings and does not include a buried water box at the corporation stop. The Plan should be revised to remove incorrect references and to include a water gate box over the corporation stops buried to within 18-inches of the roadway surface.**

*Resolution 2: We have not seen an installation of a buried gate box over a corporation stop. They are typically buried. DCI has added a buried gate box over the corporation.*

- 19d. Detail 6 on Sheet C6.0 is entitled "Water Service Connection". This appears to be the connection to the Winthrop Street water main. The title should be revised to read "Water Main Connection at Winthrop Street". This detail also indicates a tapping**

sleeve and valve. Tapping sleeves and valves are no longer allowed in the City of Medford for water main connections. The connection should be revised to include a tee cut into the main.

*Resolution 2: The detail has been revised to callout Winthrop Street and the tapping sleeve and valve has been replaced by tees. The plans has been updated to be consistent with this detail.*

- 19e. Detail 4 on Sheet C6.0 of a sewer manhole conflicts with other details at the pipe opening. Detail 3 on the sheet appears correct. Please revise accordingly.

*Resolution 2: Detail 4 has been deleted and callouts have been revised accordingly.*

- 19f. Detail 10 on Sheet C6.1 indicates decimal values with no unit. Please revise accordingly.

*Resolution 2: The units in the detail have been revised to be in feet and inches.*

- 19g. Detail 16 on Sheet C6.1 includes a guard rail. Please confirm that this design meets federal highway guard rail design standards.

*Resolution 2: The details have been updated to be consistent with MassDOT construction standards for guardrail type TL-2, which meets FHWA design standards.*

- 19h. Detail 19 on Sheet C6.2 includes a typical driveway apron. This detail conflicts with the plan and section view regarding sidewalk width.  
Please revise accordingly.

*Resolution 2: The detail has been revised to be consistent with the plans.*



- 19i. **Detail 8 on Sheet C6.2 includes a manhole access to the SIS and references a detail for the cover; however, the Plan does not include this referenced detail.**

***Resolution 2: The plan has been updated to include this call as well as to differentiate between those access ports that have a grate and those that have a cover.***

21. *Upon completion of the Subdivision and Site Plan Approval process, a PDF version of the completed revised Plan should be submitted to the Engineering Division for record. This final recorded Plan shall include all appropriate professional stamps, endorsements, and associated site design plans requiring a PE stamp (For example, retaining walls greater than four (4) feet in height).*

DCI Response: "DCI will stamp and sign final plans relating to their work, as will Frank Leathers of GEI and Michael Radner of Radner Associates."

**The Engineering Division recommends that the Board include the original comment as a condition of approval.**

***Resolution 2: Awaiting Planning Board action.***

22. *Upon completion of the Project, a PDF and CAD version of the as-built should be submitted to the Engineering Division for review and record.*

DCI Response: DCI or another survey will develop as-builts and provide these documents to the Engineering Division via both PDF and CAD.

**The Engineering Division recommends that the Board include the original comment as a condition of approval.**

***Resolution 2: Awaiting Planning Board action.***

### **Grading and Topography**

24. *The Plan includes a guardrail and fence along the ROW through the site. The Plan or associated documents do not indicate who will own and be responsible for this guardrail system and fence. The Plan should be revised to indicate the owner of the guardrail and fence along the ROW. The Plan*

*should also be revised to indicate that the guardrail shall be installed per federal highway requirements.*

**DCI Response:** "As part of an approved subdivision, a homeowner's association is proposed to be formulated to maintain all safety fencing and guardrails."

**The Engineering Division recommends that a homeowner's association be created with purview over, but not limited to, the maintenance of the rock face walls, stabilized slopes, safety fencing and guardrails throughout the Subdivision. Maintenance requirements should be prepared by the Design Engineers. These recommendations should be submitted to the Engineering Division for review.**

***Resolution 2: Waypoint is putting together a comprehensive O&M Plan with specific input from each engineer discipline. DCI has provided information for the drainage guardrail & fencing. GEI as well as Mike Radner have provided documentation for slopes, rockfaced walls and other soil & rock related elements.***

25. *The Plan includes significant vertical grade change using rock face walls, stabilized vegetated slopes, and retaining walls. The Plan indicates that these systems are located on multiple lots. These systems may need maintenance and repair over time. The Plan does not include information on the future ownership of these systems. The Plan should be revised to clearly indicate ownership of all vertical earth retainage systems.*

**DCI Response:** "As part of this subdivision, a homeowner's association will be formed to maintain walls, safety fencing and guardrails."

**See the Engineering Division response to Comment #24 above.**

***Resolution 2: A comprehensive O&M Plan is being created. Please see above.***

## **Roadway**

28. *The Plan includes twenty (20) foot radii curb lines at the intersection with Winthrop Street. Section 7.31 of the*

*Regulations require thirty (30) foot radii curb lines at the intersection of Class C roadways with Class A roadways. The Plan should be revised to include thirty (30) foot radii curb lines.*

DCI Response: "DCI has revised the radii, however, does not recommend this change. Given the placement of handicap ramps and crosswalks, it is not recommended to increase the radius. The larger radius takes pedestrians away from their desired route and moves them further away from the intersection where the lines of sight are not desirable."

**The Engineering Division received comments from Walk Medford with a similar recommendation. The Engineering Division recommends that the Proponent request a waiver, and the Board grant a waiver, to Section 7.31 allowing twenty (20) foot radii at the intersection with Winthrop Street.**

***Resolution 2: The Proponent will request a waiver to Section 7.31 allowing twenty (20) foot radii at the intersection with Winthrop Street. The letter is being provided by Waypoint.***

29. *The Plan does not include stone bounds. The Plan should be revised to include stone bounds at the beginning and end of street line curves and at the intersections of other roadway lines pursuant to Section 8.35 of the Regulations.*

DCI Response: "Stone Bounds have been shown on the layout plan."

**The Plan does not appear to show clear scope of installing stone bounds as indicated in DCI's response. The Plan should be revised to include annotations and associated construction details for stone bound installation.**

***Resolution 2: The stone bounds are now shown on the Site Layout Plan and a detail has been included.***

## **Stormwater**

31. *The Plan does not include a Stormwater Pollution Prevention*

*Plan (SWPPP). The construction will involve a significant amount of heavy earthwork including rock face stabilization, steep slope stabilization, and active earth cuts which will be susceptible to on-site erosion. Erosion should be minimized and managed. The sedimentation associated with any occurring erosion shall be controlled on-site. No off-site sedimentation will be permitted. This includes on the surface or via the municipal storm drain system. The Plan should be revised to include SWPPP plan sheets.*

**DCI Response:** "Erosion control has been shown on the plan."

**The Engineering Division disagrees that enough erosion and sedimentation control is shown on the Plan. The Engineering Division acknowledges that a SWPPP is the responsibility of the Contractor; however, there are requirements that should be directed by a qualified Engineer and included on the Plan. This project requires a large volume of earth excavation and will require coordination between the design professionals and the selected site contractor. At a minimum, the information that should be included on the Plan includes inlet protection locations, requirements, and acceptable methods; stock pile stabilization requirements and acceptable methods; examples of stock pile locations and sedimentation control measures; and perimeter sedimentation control including locations of strawbales and silt fence.**

***Resolution 2: An Erosion & Sediment Control Plan has been included in the plan set. This plan shows inlet protection locations, stock pile locations and perimeter sediment controls. An Erosion Control Notes sheet has also been added.***

32. *The Plan indicates greater than one (1) acre of land disturbance. The project will require an EPA NPDES Construction General Permit (CGP). A copy of the CGP and Stormwater Pollution Prevention Plan (SWPPP) associated with the CGP should be submitted to the Engineering Division for review and the associated plan sheets should be included in the revised Plan. The Engineering Division must review and approve the SWPPP. A copy of the Notice of Intent (NOI) should be sent to the Engineering Division for record.*

**DCI Response:** "It is understood that an NPDES General Permit is required, however, it is to be filed after an approved subdivision is in place."

See the Engineering Division response to Comment #31. The Engineering Division also recommends that the Board require that the SWPPP be reviewed and approved by the Engineering Division prior to construction.

***Resolution 2: Please see resolution to Comment #31.***

34. *The Plan indicates that the SIS is the primary Best Management Practice (BMP) of the overall stormwater management system for both quantity and quality mitigation, therefore the correct design and installation of this system is critical to the overall function of the stormwater management system. The infiltration test performed at the site was located approximately 120 feet away from the proposed SIS. Soil and bedrock conditions may vary over distances less than 120 feet. The Plan does not indicate soil testing was performed for the smaller infiltration systems; however, the calculations include an infiltration rate for these systems.*

*All BMPs installed as part of the site's stormwater management system should be designed and built pursuant to Volume 2, Chapter 2 of the Massachusetts Stormwater Standards (The Standards). The proposed SIS design does not include soil test results in accordance with the Standards. The Plan should be revised and updated to include soil testing and design information pursuant to the Standards. The smaller systems for the roofs must also include soil test information to support the calculations presented. Soil testing should be performed within the footprints of the proposed systems.*

**DCI Response:** "GEi will be conducting additional tests once the final SIS locations have been approved. The testing will cover individual roof systems and the primary BMP. GEi's Report on Rock Core Borings, dated June 21, 2015, contains three boring logs and rock core photographs that indicate the rock at the site is moderately to highly fractured. This is consistent with the rock observed in the exposed rock face and in the test hole where the large-scale infiltration test was performed. The bottom elevations of the SIS's are well below the rock surface and cannot be accessed at this time. The exposed rock will be observed and required infiltration testing will be performed during site excavation to demonstrate that the subsurface conditions are suitable and the SIS design is appropriate."

This response is not acceptable. The drainage design of the site relies on assumptions that must be confirmed prior to plan approval. The critical assumptions are the elevation of Estimated Seasonal High Groundwater, and the permeability of the subsurface ledge beneath the infiltration systems. The Proponent has multiple options available to obtain the requested data prior to approval of the Definitive Subdivision plan. For example, soil and bedrock borings could be used for permeability tests in the layer of subsurface material located at the bottom of the proposed infiltration systems. Borings could also be used to monitor groundwater levels. While these methods may not be explicitly allowed under the Standards, The Engineering Division takes no exception to considering alternate methods to gather required data.

*Resolution 2: The Proponent (Waypoint) has attempted to excavate a test pit at the location of the large SIS, but was not able to reach the design bottom elevation of the SIS. The pit was excavated to about El. 54, which is about 3 feet above the proposed bottom elevation of the SIS. The bedrock at this depth had not been blasted and could not be excavated without extensive use the PC-210 with a gorilla hammer. At this point a onsite judgement call was made stop the excavation. Due to existing elevations there is ample opportunity to drill for lots 9 and 10. These can be easily accomplished and tested for permeability in which the remainder of the house infiltration systems will be tested during construction. Drilling and blasting for the main infiltration systems and the house infiltration on lots 9 and 10 is currently scheduled for end of September 2019 at this time we will complete the percolation testing for the SIS and lots 9 and 10.*

*Blasting and excavation first is important because the current rock conditions at the proposed SIS and house infiltration fields are not representative of the conditions that will exist after the site has been blasted and excavated. The Proponent has considered the City's suggestion that borings with observations wells be installed and tested at each infiltration location. However, this will not indicate the conditions that will exist after the site is blasted. The Proponent is confident that percolation testing and ground water level measurements taken after the site is blasted and excavated will meet the infiltration system design requirements. The Proponent is committed to modifying the design, if necessary, after blasting and excavation to meet the requirements based on the testing and observations made after excavation.*

*Therefore, the Proponent respectfully requests that the percolation testing and ground water level observation requirement be deferred until the site is blasted and excavated, and the Definitive Subdivision Plan be approved subject to such future testing and design confirmation.*

35. *The Plan indicates that the stormwater management system is entirely comprised of subsurface BMPs. Subsurface BMPs are more difficult to inspect and maintain than surface BMPs. The Proponent should evaluate the siting of a surface basin near Winthrop Street instead of the SIS. Curb breaks may be evaluated instead of catch basins, and a surface forebay may be evaluated for pretreatment. This evaluation should be documented and included in a revised submission. This evaluation should demonstrate the best design is proposed for a system that is intended to be owned and maintained by the City after the roadway is accepted.*

DCI Response: "Although DCI is a proponent of this design style it is often used in more rural environment project with less severe topography. DCI feels that given the topography and size of the subject site subsurface infiltration is a more appropriate solution."

**This response is not acceptable. The Engineering Division is clear in the original comment that the purpose of this evaluation is consideration of inspection and maintenance, not appropriate design style. Also, the Engineering Division acknowledges that the selected design may be best suited for this site; however, the request is to demonstrate this design is the best design, and other options that are easier to inspect and maintain are not practical. For example, the Plan has already been revised to decrease the depth of the system since the last submission. There may be additional opportunities.**

***Resolution 2: At this stage, the owner prefers the subsurface BMP's. The inspection and maintenance will be completed by the home owner's association and video evidence can be provided for assurances.***

37. *The Stormwater Management Report does not include calculations to demonstrate the capacity of the roadway inlets are adequate to capture the flows intended to be mitigated by the SIS. The SIS is shown to mitigate flows for up to 100-year events, therefore the upstream system must be able to capture and convey the peak flow associated with this design storm to the SIS. The Report should be revised to include inlet calculations and closed system calculations to demonstrate the capacity of the roadway inlets and closed system is adequate for the applicable design flows.*

DCI Response: "Calculations for inlet capacity are

now included in the Stormwater Management Report. The pipes have been modeled in HydroCAD to demonstrate adequate capacity."

**The Stormwater Report indicates that CB-1 and CB-2 should have double grates. The Plan indicates single grates. The Plan should be revised to show double grates for CB-1 and CB-2. The Plan should also be revised to include a detail for the double grates.**

***Resolution 2: The plans will be updated to show double grate catch basins for CB-1 and CB-2 and a detail will be included for a double grate catch basin.***

39. *The Stormwater Management Report does not include a long-term operation and maintenance plan. The Stormwater Management Report should be revised to include a long-term operation and maintenance plan. The correct inspection, maintenance and repair information should be provided for all installed BMPs to ensure they function according to manufacturer or design specifications.*

**DCI Response:** "A long term Operations and Maintenance Plan is included in the Stormwater Report."

**The Operation and Maintenance Plan references inspection ports on the SIS that are no longer in the design. The Operation and Maintenance Plan should be corrected and updated.**

***Resolution 2: The Operation and Maintenance Plan has been updated and is included with this report.***

- 40.d. *The Plan does not include freeboard space within the SIS. The HydroCAD calculations indicate a peak elevation of 60.22 within the SIS. This peak elevation sits outside the confines of the SIS. The peak elevation of the water within the SIS should be contained within the SIS. The Plan and calculations should be revised accordingly.*

**DCI Response:** "Two risers are modeled as part of the SIS. Both are for access and cleaning. One has a grate and is modeled as an overflow.

During the 100-year storm event, some flow discharges through this grate, by design."



The Stormwater Report indicates that during the 100-year storm event the peak elevation of water in the system is at elevation 65.08. The Engineering Division acknowledges, and takes no exception to, overflow by design; however, there are multiple elements to the overall system connected to the SIS that have rim elevations lower than elevation 65. The Plan indicates that the rim elevations of CB-3 and CB-4 is close to 60.8. This appears to be the first location that will discharge during the staging of the system. The Plan and Stormwater Report should be revised to correct this condition. Also, the Plan should be revised to include a grate on the designated overflow manhole.

*Resolution 2: The HydroCAD model includes CB-3 and CB-4. The peak elevation for CB-3 for the 100 year design storm is 58.34 and the peak elevation for CB-4 for the 100 year design storm is 58.16. These peak elevations will not overtop the rims elevations of 60.78 and 60.80, respectively for CB-3 and CB-4. The plan has been updated to include the overflow grates in the SIS.*

43. *The Plan indicates that the depth of the SIS is between 17 and 22 feet to the bottom of stone resulting in between 13 and 18 feet of cover over the system. The Plan also indicates that the maximum depth of cover is 12feet. The depth of the system presents design challenges that must be addressed:*

- a. *The Proponent should evaluate if the SIS must be as deep as indicated in The Plan. There may be opportunities for providing the same volume at a different location that will provide relief to the depth. A shallower system is preferred. This evaluation should be documented and included in the revised submission. See additional comments regarding the use of subsurface BMPs. See Comment #29.*

DCI Response: "Modification to the site grading particularly on lots 9 and 10 have significantly reduced the cover over the SIS."

**The Engineering Division did not receive an evaluation as requested. This comment**

remains open.

***Resolution 2: Please see the enclosed updated grading plan.***

- b. *The Proponent should consult with the Department of Public Works Highway Division to determine the equipment limitations for servicing the SIS. For example, diameter of access, depth of sediment removal, etc. This information should be used to inform the revised submission.*

DCI Response: "The chamber has been changed to reinforced concrete as recommended. This will facilitate a large diameter access manhole to enhance maintenance."

**The Engineering Division acknowledges the revision; however, we did not receive information indicating coordination or consultation with the Highway Division. This comment remains open.**

***Resolution 2: Waypoint is directly coordinating with the Highway Division.***

- d. *The depth to groundwater beneath the SIS must be confirmed, as well as the infiltration rate at the bottom of stone must be confirmed. The SIS is the primary water quality treatment and rate mitigation BMP for the project and must operate as designed to prevent discharge of untreated water to the municipal storm drain. This information is critical in confirming the design will function correctly post-construction.*

DCI Response: "(per Frank Leathers, GEI) The infiltration test previously performed in a large on-site excavation near the Winthrop Street side of the site showed rock at the location was very permeable and would exceed state infiltration requirements. Also, the bottom of the excavation was about 6 feet below the Winthrop Street level, and there was no evidence of groundwater prior to the start of the test. Additional

observations of groundwater levels and infiltration testing will be performed after excavation to the intended SIS elevations during construction."

**As indicated in previous responses the Engineering Division does not approve of this approach. Also, see response to Comment #34. The infiltration test, as well as the rock borings, provide good preliminary information; however, they do not provide the information needed to confirm the proposed design which relies on infiltration and a very low groundwater table. For example, boring B104 is located near the SIS and is the lowest boring on the site. The termination depth of this boring is 24 feet below grade. This puts the bottom of the boring at approximately elevation 61. The bottom of the SIS is more than 10 feet below that at elevation 50.48 (bottom of stone).**

**The Stormwater Report should be revised to provide the elevation of the Estimated Seasonal High Groundwater table (ESHGW) at the location of the SIS and the home roof systems. The Proponent should also provide permeability values of the soil or rock directly beneath these systems. These tests must take place prior to approval of the Definitive Subdivision Plan. As stated in a previous response, the Engineering Division will accept appropriate data from observation wells as well as permeability testing performed within a boring at the correct elevation.**

***Resolution 2: The Proponent (Waypoint) has attempted to excavate a test pit at the location of the large SIS, but was not able to reach the design bottom elevation of the SIS. The pit was excavated to about El. 54, which is about 3 feet above the proposed bottom elevation of the SIS. The bedrock at this depth had not been blasted and could not be excavated without extensive use the PC-210 with a gorilla hammer. At this point a onsite judgement call was made stop the excavation. Due to existing elevations there is ample opportunity to drill for lots 9 and 10. These can be easily accomplished and tested for permeability in which the***

*remainder of the house infiltration systems will be tested during construction. Drilling and blasting for the main infiltration systems and the house infiltration on lots 9 and 10 is currently scheduled for end of September 2019 at this time we will complete the percolation testing for the SIS and lots 9 and 10.*

*Blasting and excavation first is important because the current rock conditions at the proposed SIS and house infiltration fields are not representative of the conditions that will exist after the site has been blasted and excavated. The Proponent has considered the City's suggestion that borings with observations wells be installed and tested at each infiltration location. However, this will not indicate the conditions that will exist after the site is blasted. The Proponent is confident that percolation testing and ground water level measurements taken after the site is blasted and excavated will meet the infiltration system design requirements. The Proponent is committed to modifying the design, if necessary, after blasting and excavation to meet the requirements based on the testing and observations made after excavation.*

*Therefore, the Proponent respectfully requests that the percolation testing and ground water level observation requirement be deferred until the site is blasted and excavated, and the Definitive Subdivision Plan be approved subject to such future testing and design confirmation.*

46. *The Plan indicates that each lot contains an infiltration system for the building roof water. These units provide infiltration that is accounted for in the overall stormwater calculations. In other words, these roof infiltration units mitigate rates and volumes prior to discharge to the City's stormwater collection system. The Proponent should demonstrate that these systems will permanently remain in place and be properly maintained to ensure the on-site stormwater system will function as designed. For example, since these systems are on private property, the City is not able to ensure they are maintained properly and are not removed by the lot owner. The Proponent should address how issues similar to this are resolved. This information should be provided in the revised submission.*

DCI Response: "The owner has agreed to placing a deed restriction on each lot that the units must remain in place and will be maintained annually."

**The Engineering Division recommends that the Board require that the deeds associated with the ten (10) building lots include language that protects the roof**

infiltration systems from removal and disconnection. This deed language should also require the roof systems be maintained annually per maintenance instructions included in the deed.

***Resolution 2: The owner agrees with this comment and will agree to deed restriction for each lot.***

## **Water and Sewer**

47. *The Plan indicates a new sewer connection with an estimated design flow of 3,300 gallons per day. The Engineering Division recommends that the sanitary sewer on Winthrop Street from Lorraine Road to Wildwood Road be videoed with a narrative and stationing. The primary purpose of this video is to confirm the condition of the sewer main servicing the development. A copy of this video should be submitted to the Engineering Division for review and record.*

DCI Response: "The owner is scheduling the video service and will call DCI and the City of Medford in advance to observe the process. The owner will then deliver a copy of the video to the Engineering Division for their review."

**The Engineering Division received and reviewed the video inspection. The video inspection included three (3) sanitary sewer main sections; however, no graphic or plan is included to identify the sections of pipe in plan view. The Engineering Division believes the inspected sections are from R-030A to P- 030 (SMH-1 to SMH-2); from P-030 to P-029 (SMH-2 to SMH-3); and P-029 to P-028 (SMH-3 to SMH-4). In other words, from the manhole at Smith Lane to the manhole at Wildwood Road. The Proponent should confirm this is correct or provide a plan.**

***Resolution 2: The city is correct, SMH-1 is located at Smith Street, SMH-2 is located at Lorraine Road, SMH-3 is located at the south end of the gas station lot. A PDF is available showing the beginning and end of the video.***

**Due to the condition of the sanitary main The Engineering Division recommends that it be lined from P-030 to P-028 (SMH-2 to SMH -4). It should be**

lined with a cured in place liner system. The liner system and curing method must be approved by the Engineering Division prior to installation.

***Resolution 2: The pipe is in fair to good condition. There is some minor cracking and there is no missing pipe pieces displaced joints or pipe destruction or collapsing sections. The owner will discuss this component with the Public Works Department Sewer Division.***

50. *The Water Superintendent will submit a separate letter with requirements from the Water and Sewer Division. The Engineering Division supports the recommendations made by the Water and Sewer Division.*

DCI Response: "See comments from Brian Kerins below."

**The Plan indicates that the water main is connected to the existing 6-inch main in Winthrop Street. The DPW Commissioner and Water Division Superintendent have expressed concerns with this main. The Engineering Division acknowledges that flow tests indicate enough flow is available for the project requirements; however, our records indicate that the water main in this vicinity was installed in 1931. Due to the age of this main (88 years) The Engineering Division recommends that the Proponent evaluate the condition of the water main to confirm it is suitable for connecting a new 8- inch main. The Proponent should coordinate this evaluation with the Water Division and submit results to the Engineering Division for review.**

***Resolution 2: A Utility Contractor will be hired to confirm the condition of the water line at the tie-in location. This exposure and scope of inspection will be coordinated with the City of Medford's Water Department.***

**New Comments:**

52. The Revised Plan includes a Temporary Traffic Control Plan; however, the traffic management plan for Phase II and Phase III is not shown. The Revised Plan indicates that Phase II includes new utility connections as well as sidewalk construction in Winthrop Street both of which will have different Traffic Management Plans (TMP).

The Engineering Division will review the revised Temporary Traffic Control Plan as part of the Definitive Subdivision process; however, final TMP approval is required prior to receiving a Street Opening Permit from the Engineering Division.

***Resolution 2: The Temporary Traffic Control Plans have been updated. The plans have been separated out to show the temporary control plans for each phase of work. Phases I, II, and III from the Construction Management Plan have been called out on each of the temporary traffic control plans.***

53. Sheet C4.0 Proposed Section and Profile includes notes relevant to asphalt sidewalk. The Plan does not include asphalt sidewalk. The Plan should be revised to remove this note and any other irrelevant notes.

***Resolution 2: The plans have been revised to remove any reference relevant to asphalt sidewalk. The notes, typical sections details have been modified accordingly.***

54. The Utility Plan indicates that a catch basin is to be removed in Winthrop Street. The Plan should be revised to include removing the drain pipe from this catch basin to the downstream manhole and plugging the manhole.

***Resolution 2: The plan has been updated to callout the removal of the pipe and the plugging of the opening in the manhole.***

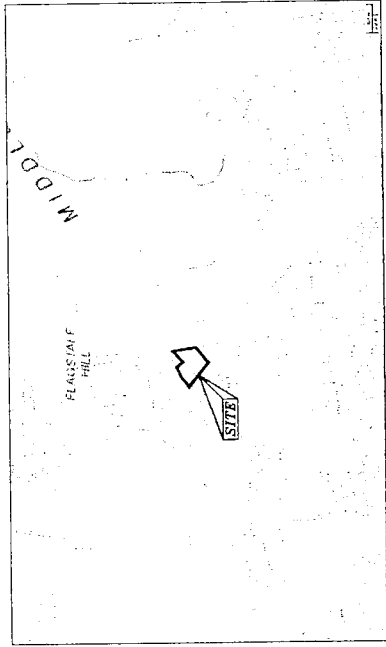
55. The Plan indicates a new pedestrian crossing of Winthrop Street at Lorraine Road. The Engineering Division supports the installation of a crosswalk in this location; however, there are additional items that should be included to further increase the safety of this crossing. The Engineering Division recommends that a stop sign, and stop line be installed at Lorraine Road. We also recommend that the northern curb radius at Lorraine Road be reduced to twenty (20) feet. This will reduce the crossing distance and provide better sight lines for the crossing.

***Resolution 2: The plan has been updated to include a STOP-sign and STOP-line at Lorraine Road. The plan has also been updated to reduce the northern curb radius to twenty (20) feet in order to reduce crossing distance and provide better sightlines.***

WINTHROP ESTATES  
DEFINITIVE SUBDIVISION OF LAND  
MEDFORD, MASSACHUSETTS  
PREPARED FOR:  
WAYPOINT DEVELOPMENT  
5 BROADWAY SUITE 200B  
SAUGUS, MASSACHUSETTS

LEGEND OF SYMBOLS & ABBREVIATIONS:

EXISTING	PROPOSED
PROPERTY LINE	
INTERMEDIATE CONTOUR	
INDEX CONTOUR	
EDGE OF PAVEMENT	
BITUMINOUS REAM	
VERTICAL CURVE DATA	
BLOTTED GRANITE CURB	
GUARD RAIL	
DRAIN	
SEWER	
WATER	
UNDERGROUND ELECTRIC	
OVERHEAD WIRE	
TELEPHONE	
NATURAL GAS	
CABLE LINK FENCE	
WOOD FENCE	
SILT FENCE	
HAY BALES	
TREE LINE	
RETAINING WALL	
STONE WALL	
STONE BOUND	
CONCRETE BOUND	
IRON PIPE	
SPOT ELEVATION	
CATCH BASIN	
DRAIN MANHOLE	
SEWER MANHOLE	
ELECTRIC MANHOLE	
UTILITY MANHOLE	
FIRE HYDRANT	
GATE VALVE	
LIGHT	
UTILITY POLE	
OUT WIRE	
WELL	
MONITORING WELL	
TEST PIT	
PERCOLATION TEST	
BENCH MARK	
TRAFFIC FLOW DIRECTION	
DRAINAGE FLOW DIRECTION	



Sheet List Table

Sheet Number	Sheet Title
T1.0	TITLE SHEET
S1.0	EXISTING CONDITIONS
S2.0	SUBDIVISION PLAN
C1.0	LAYOUT PLAN
C2.0	UTILITY PLAN
C3.0	GRADING PLAN
C4.0	PROFILE
C4.1	DRAINAGE PROFILE
C5.0	CONSTRUCTION MANAGEMENT PLAN
C5.1	TEMPORARY TRAFFIC CONTROL PLAN - PHASES I AND II
C5.2	TEMPORARY TRAFFIC CONTROL PLAN - PHASE IIA
C5.3	TEMPORARY TRAFFIC CONTROL PLAN - PHASE IIB
GT-1	ROCK FACE AND VEGETATED SLOPE LAYOUT
GT-2	ELEVATION OF ROCK FACE AND ROCK DOWEL LOCATIONS
GT-3	CROSS SECTION AND ROCK DOWEL TABLE
GT-4	ROCK FACE DETAILS
GT-5	ROCK FACE NOTES AND REQUIREMENTS
L-1	LANDSCAPE PLAN
L-2	LIGHTING PLAN
C6.0	CONSTRUCTION DETAILS
C6.1	CONSTRUCTION DETAILS
C6.2	CONSTRUCTION DETAILS
C6.3	PROPOSED SIGNAGE & STRIPING PLAN
C6.4	EROSION & SEDIMENT CONTROL PLAN
C6.5	EROSION & SEDIMENT CONTROL NOTES

ZONING TABLE

ZONING DISTRICT	MIN. LOT AREA (S.F.)	MIN. LOT FRONTAGE (FEET)	MIN. LOT WIDTH (FEET)	MIN. LOT DEPTH (FEET)	MIN. FRONT YARD (FEET)	MIN. SIDE YARD (FEET)	MIN. REAR YARD (FEET)	MAX. LOT COVERAGE	MAX. BUILDING HEIGHT (STORIES)
R-1	7,000	35	35	35	15	15	15	40%	3

ROADWAY REQUIREMENTS (CLASS C)

RIGHT OF WAY	MINIMUM GRADE	STREET LINE RADIUS	OUTER EDGE RADIUS	WIDTH OF ROADWAY	MIN. LOT DEPTH	MIN. LOT FRONTAGE	MIN. STREET CORNER RADIUS	MIN. TANGENT LENGTH	MIN. TANGENT LENGTH	MIN. TANGENT LENGTH	MIN. TANGENT LENGTH
50'	0.8%	7.0%	40'	30'	15'	35'	25'	50'	50'	50'	50'

OWNER REFERENCES  
\$41 WINTHROP STREET  
OWNER: WINTHROP STREET DEVELOPMENT LLC  
DEED REFERENCE: BOOK 6781 PAGE 51  
ASSESSOR'S MAP: G-03 P-0001 10  
\$41 WINTHROP STREET  
OWNER: WINTHROP STREET DEVELOPMENT LLC  
DEED REFERENCE: BOOK 6781 PAGE 51  
ASSESSOR'S MAP: G-03 P-0001 10

CITY OF MEDFORD, COMMUNITY DEVELOPMENT  
BOARD APPROVAL REQUIRED UNDER THE  
SUBDIVISION CONTROL ACT

DATE: \_\_\_\_\_

**DCI**  
Design Consultants Inc.  
Saugus, MA 01906  
www.dci-inc.com  
100 WINTHROP STREET, SUITE 200  
MEDFORD, MA 02155  
TEL: 978.330.1111  
FAX: 978.330.1112

PROJECT TEAM  
PROJECT MANAGER: \_\_\_\_\_  
DESIGNER: \_\_\_\_\_  
CHECKER: \_\_\_\_\_  
DATE: FEBRUARY 2, 2019  
SCALE: N.T.S.

WINTHROP ESTATES SUBDIVISION  
5 BROADWAY SUITE 200B  
SAUGUS, MA 01906  
MEDFORD, MA

PROJECT NAME: \_\_\_\_\_  
SHEET: \_\_\_\_\_

T1.0

DATE: \_\_\_\_\_









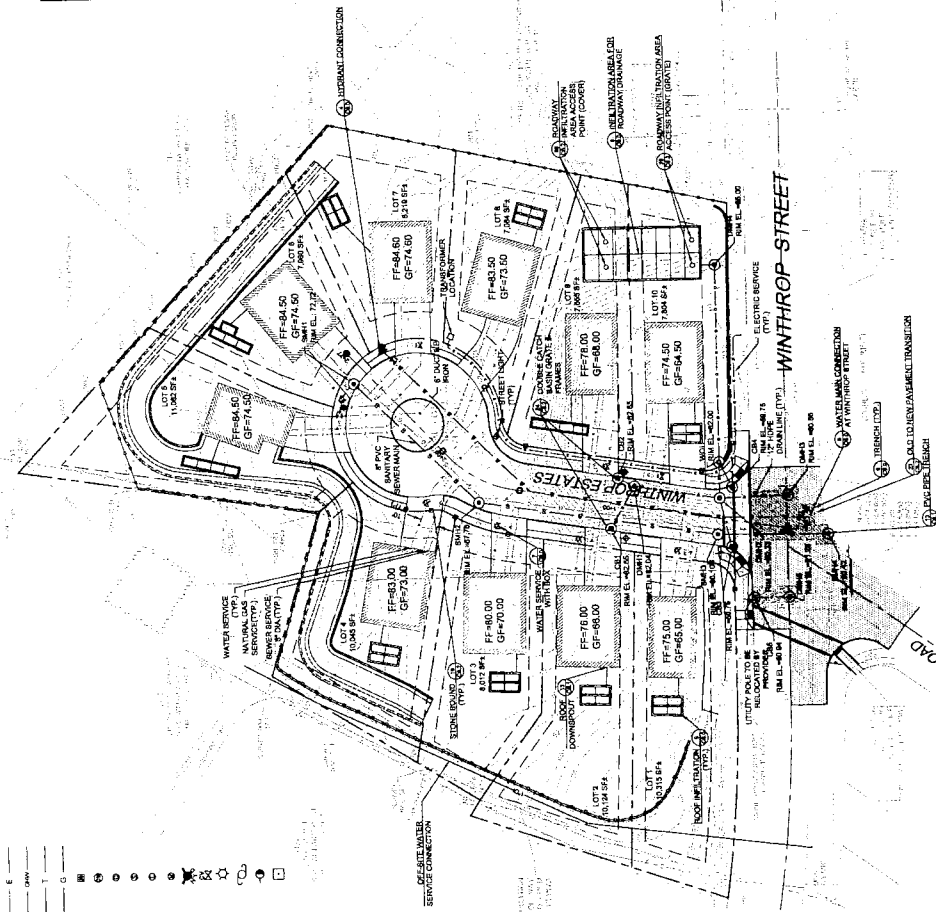
CITY OF WINTHROP, COMMUNITY DEVELOPMENT  
BOARD APPROVAL REQUIRED UNDER THE  
SUBDIVISION CONTROL LAW



STRUCTURE NAME	STATION	DETAILS
1	1+00.00	RM = 1.00
2	1+00.00	RM = 1.00
3	1+00.00	RM = 1.00
4	1+00.00	RM = 1.00
5	1+00.00	RM = 1.00
6	1+00.00	RM = 1.00
7	1+00.00	RM = 1.00
8	1+00.00	RM = 1.00
9	1+00.00	RM = 1.00
10	1+00.00	RM = 1.00
11	1+00.00	RM = 1.00
12	1+00.00	RM = 1.00
13	1+00.00	RM = 1.00
14	1+00.00	RM = 1.00
15	1+00.00	RM = 1.00
16	1+00.00	RM = 1.00
17	1+00.00	RM = 1.00
18	1+00.00	RM = 1.00
19	1+00.00	RM = 1.00
20	1+00.00	RM = 1.00

STRUCTURE NAME	STATION	DETAILS
1	1+00.00	RM = 1.00
2	1+00.00	RM = 1.00
3	1+00.00	RM = 1.00
4	1+00.00	RM = 1.00
5	1+00.00	RM = 1.00
6	1+00.00	RM = 1.00
7	1+00.00	RM = 1.00
8	1+00.00	RM = 1.00
9	1+00.00	RM = 1.00
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17	1+00.00	RM = 1.00
18	1+00.00	RM = 1.00
19	1+00.00	RM = 1.00
20	1+00.00	RM = 1.00

- DRAIN
- SEWER
- WATER
- UNDERGROUND ELECTRIC
- OVERHEAD WIRE
- TELEPHONE
- NATURAL GAS
- DRY WELL
- SEWER MANHOLE
- ELECTRIC MANHOLE
- UTILITY MANHOLE
- FIRE HYDRANT
- GATE VALVE
- LIGHT
- UTILITY POLE
- GUY WIRE
- STONE BOUND
- PAVEMENT TRANSITION



STRUCTURE NAME	STATION	DETAILS
1	1+00.00	RM = 1.00
2	1+00.00	RM = 1.00
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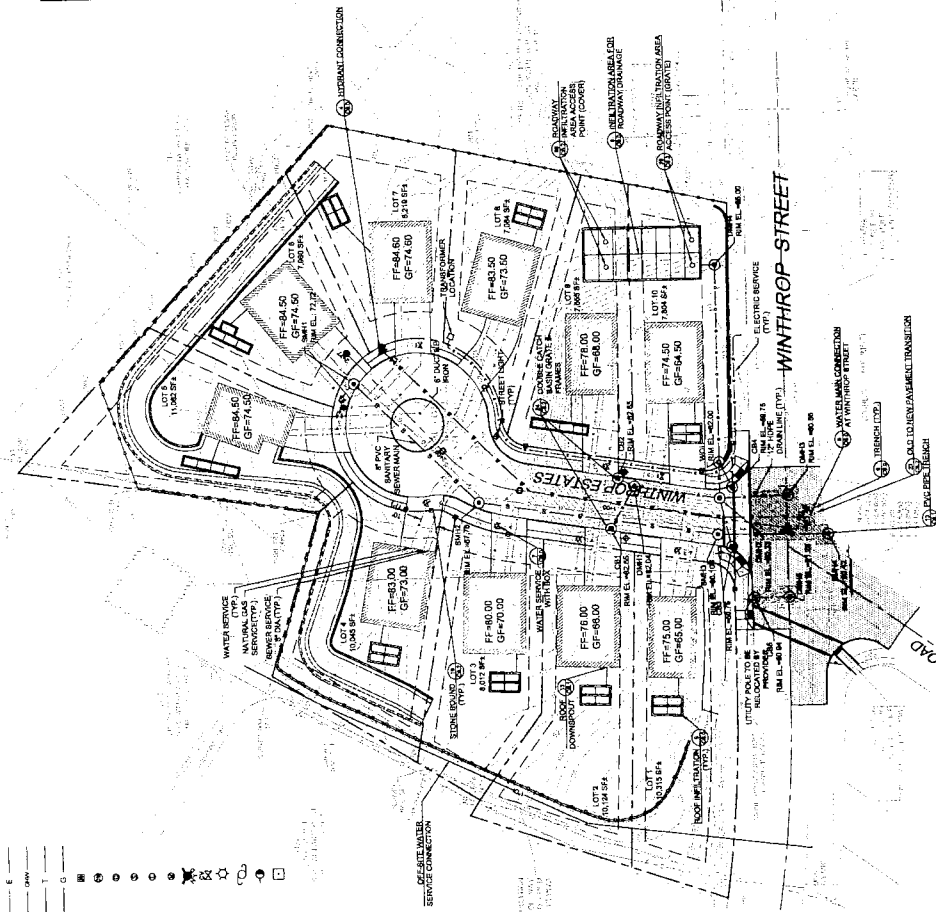
CITY OF WINTHROP, COMMUNITY DEVELOPMENT  
BOARD APPROVAL REQUIRED UNDER THE  
SUBDIVISION CONTROL LAW



STRUCTURE NAME	STATION	DETAILS
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2	1+00.00	RM = 1.00
3	1+00.00	RM = 1.00
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19	1+00.00	RM = 1.00
20	1+00.00	RM = 1.00

STRUCTURE NAME	STATION	DETAILS
1	1+00.00	RM = 1.00
2	1+00.00	RM = 1.00
3	1+00.00	RM = 1.00
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17	1+00.00	RM = 1.00
18	1+00.00	RM = 1.00
19	1+00.00	RM = 1.00
20	1+00.00	RM = 1.00

- DRAIN
- SEWER
- WATER
- UNDERGROUND ELECTRIC
- OVERHEAD WIRE
- TELEPHONE
- NATURAL GAS
- DRY WELL
- SEWER MANHOLE
- ELECTRIC MANHOLE
- UTILITY MANHOLE
- FIRE HYDRANT
- GATE VALVE
- LIGHT
- UTILITY POLE
- GUY WIRE
- STONE BOUND
- PAVEMENT TRANSITION



















FOR TEXT DIMENSIONS, SEE "STANDARD HIGHWAY SIGNS" AS SPECIFIED IN THE 2009 M.U.T.C.D.



POLICE DETAIL

ALL BE MAINTAINED AT ALL TIMES.

DR BY: SGS  
CHK BY: TRES  
PROJ NO: 2017-003  
DATE: FEBRUARY 8, 2019  
SCALE: VARIES

PROJECT TEAM  
WINTHROP ESTATES SUBDIVISION  
41 & 561 WINTHROP STREET  
MEDFORD, MA

DEFINITIVE SUBMISSION AND SPECIAL PERMIT APPLICATION	PROJECT INFO
--	--------------

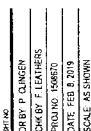
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STAMP

TEMPORARY  
TRAFFIC  
CONTROL PLAN  
PHASE II-B

Sheet Name: C5.3

PRINT NO  
 DR BY: SGS  
 CHK BY: TB/ES  
 PROJ NO: 2017-003  
 DATE: FEBRUARY 8, 2019  
 SCALE: VARIES



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LEE CIVIL AND CRIMINAL JUSTICE

1. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ...
2. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ...

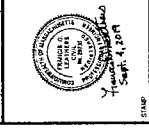
CITY OF MEDFORD COMMUNITY DEVELOPMENT  
BOARD APPROVAL REQUIRED UNDER THE  
SUBDIVISION CONTROL LAW



Design Consultants Inc.  
100 Middlesex Ave. Suite 20  
Somerville, MA 02145  
Tel: 617.776.1555  
Fax: 617.776.1556  
www.dci-llc.com

PROJECT TEAM  
PROJECT NO. 100670  
PROJECT NAME  
WINTROP ESTATES SUBDIVISION  
100 MIDDLESEX AVE. SUITE 20  
SOMERVILLE, MA 02145

NO.	DESCRIPTION	DATE
1	PROPOSED SHOTCRETE FACING	08/14/2019
2	PROPOSED RETAINING WALL	08/14/2019
3	PROPOSED ROCK DOWEL	08/14/2019
4	PROPOSED ROCK DOWEL	08/14/2019
5	PROPOSED ROCK DOWEL	08/14/2019
6	PROPOSED ROCK DOWEL	08/14/2019
7	PROPOSED ROCK DOWEL	08/14/2019
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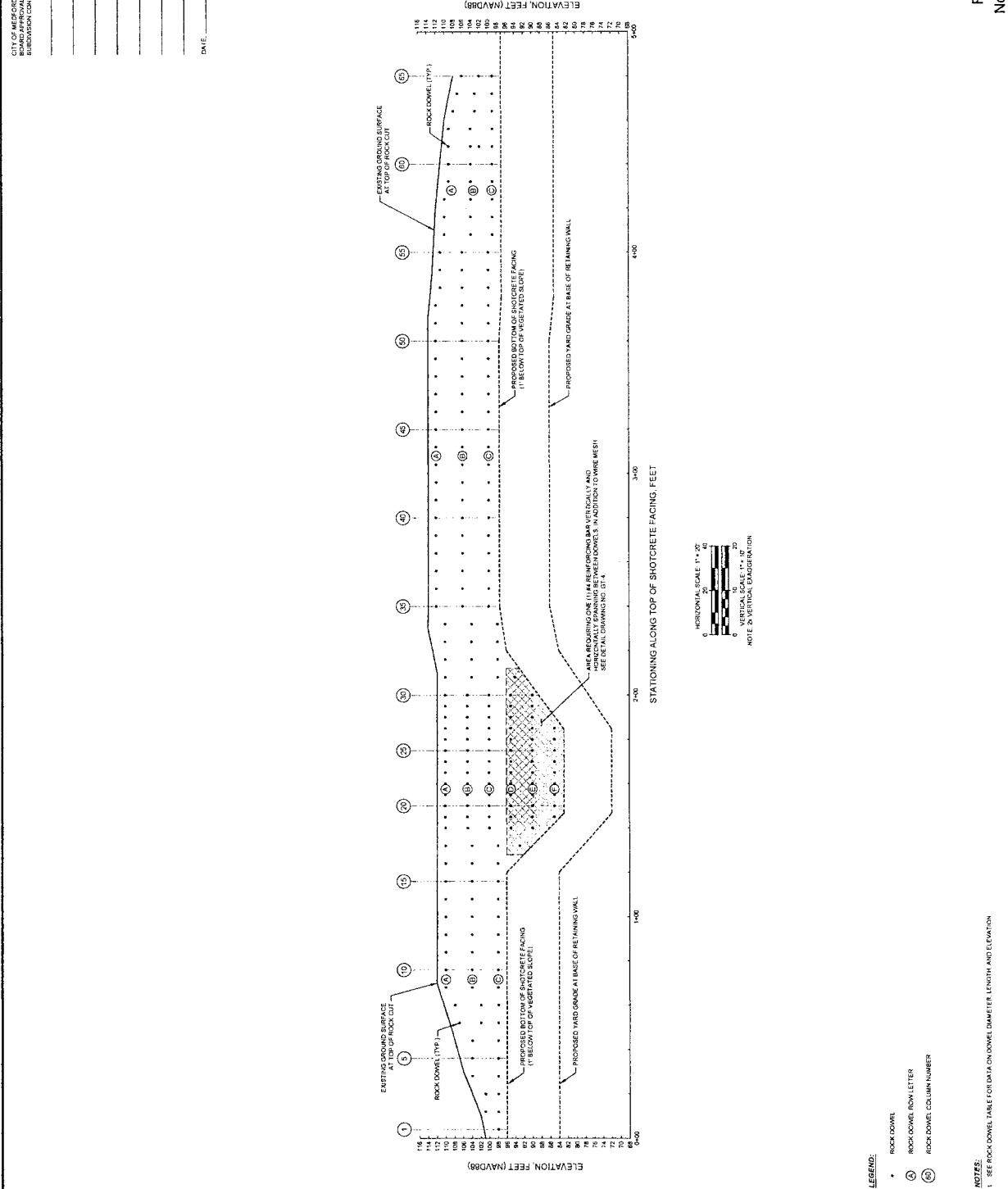


ELEVATION OF  
ROCK FACE AND  
ROCK DOWEL LOCATION

GT-2

DR BY: P. CLUGEN  
CHK BY: F. LEATHERS  
PROJ. NO. 100670  
DATE: FEB. 8, 2019  
SCALE: AS SHOWN

For Permit Review  
Not for Construction



NOTES:  
1. SEE ROCK DOWEL TABLE FOR DATA ON DOWEL DIAMETER, LENGTH AND ELEVATION

CITY OF NEWTON, COMMUNITY DEVELOPMENT  
BOARD APPROVAL REQUIRED UNDER THE  
SUBDIVISION CONTROL LAW

Civil

DCI

Design Consultants, Inc.

170 MADISON AVE SUITE 20  
ROXBURY, MA 02119  
617.776.3300

DEVELOPER

WAYPOINT DEVELOPMENT  
5 BROADWAY SUITE 200B  
ROXBURY, MA 02119  
617.776.3300

SUPPLIER

DESIGN CONSULTANTS INC.  
170 MADISON AVE SUITE 20  
ROXBURY, MA 02119  
617.776.3300

PROJECT TEAM

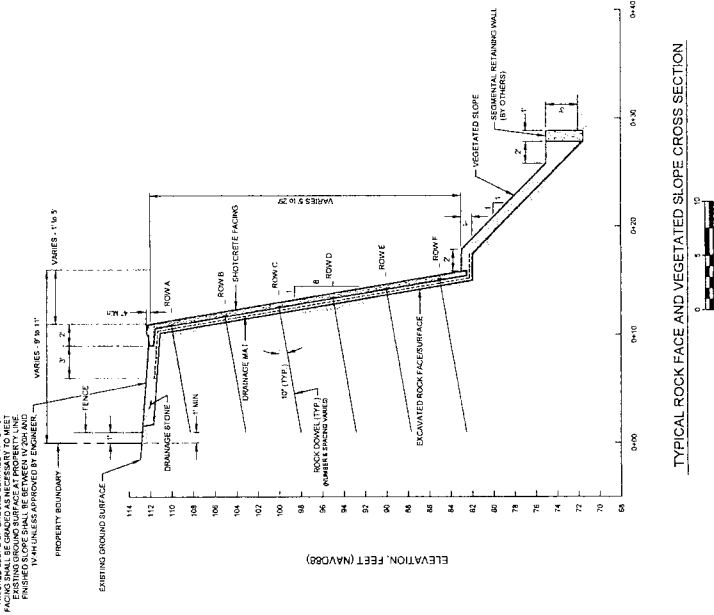
GEI CONSULTANT  
400 WASHINGTON DRIVE  
ROXBURY, MA 02119  
617.776.3300

PROJECT NO.

0100000000

PROJECT NAME

WANTHOPE ESTATES SUBDIVISION  
170 MADISON AVE SUITE 20  
ROXBURY, MA 02119  
617.776.3300



- NOTES:
1. SEE LANDSCAPE ARCHITECT'S RETAINING WALL, EXCAVATION, AND ROCK FACE DESIGN AND SPECIFICATIONS FOR DOWEL SIZE, ELEVATION, AND TIE-INS.
  2. SEE SITE GRADING PLAN FOR DESIGN FINISH GRADE AT TIE OF WALL.
  3. SEE LANDSCAPE ARCHITECT'S RETAINING WALL AND ROCK FACE DESIGN AND SPECIFICATIONS FOR DOWEL SIZE, ELEVATION, AND TIE-INS.

For Permit Review  
Not for Construction

GT-3

DR BY: P. CLUGEN  
CHK BY: T. LEATHERS  
PROJECT NO: 1506870  
DATE: FEB 8 2019  
SCALE: AS SHOWN

TYPICAL ROCK FACE AND VEGETATED SLOPE CROSS SECTION









CITY OF MIDDLESEX COMMUNITY DEVELOPMENT  
BOARD APPROVAL REQUIRED UNDER THE  
SUBDIVISION CONTROL LAW

**DC**  
Design Consultants Inc.  
www.dci-ma.com  
120 MIDDLESEX AVE.  
ROSELAND, MA 02145  
617-778-3300  
5 BROADWAY SUITE 2008  
ROSELAND, MA 02145  
SERVICES:  
DESIGN CONSULTANTS INC.  
120 MIDDLESEX AVE.  
ROSELAND, MA 02145  
PROJECT TEAM:  
LANDSCAPE ARCHITECT

**WINTHROP ESTATES**  
481 CENTRE STREET, SUITE 100  
ROSELAND, MA 02145  
www.winthrop-estates.com  
481 CENTRE STREET, SUITE 100  
ROSELAND, MA 02145  
SUBDIVISION  
481 & 501 WINTHROP ST  
ROSELAND, MA 02145  
PROJECT INFO

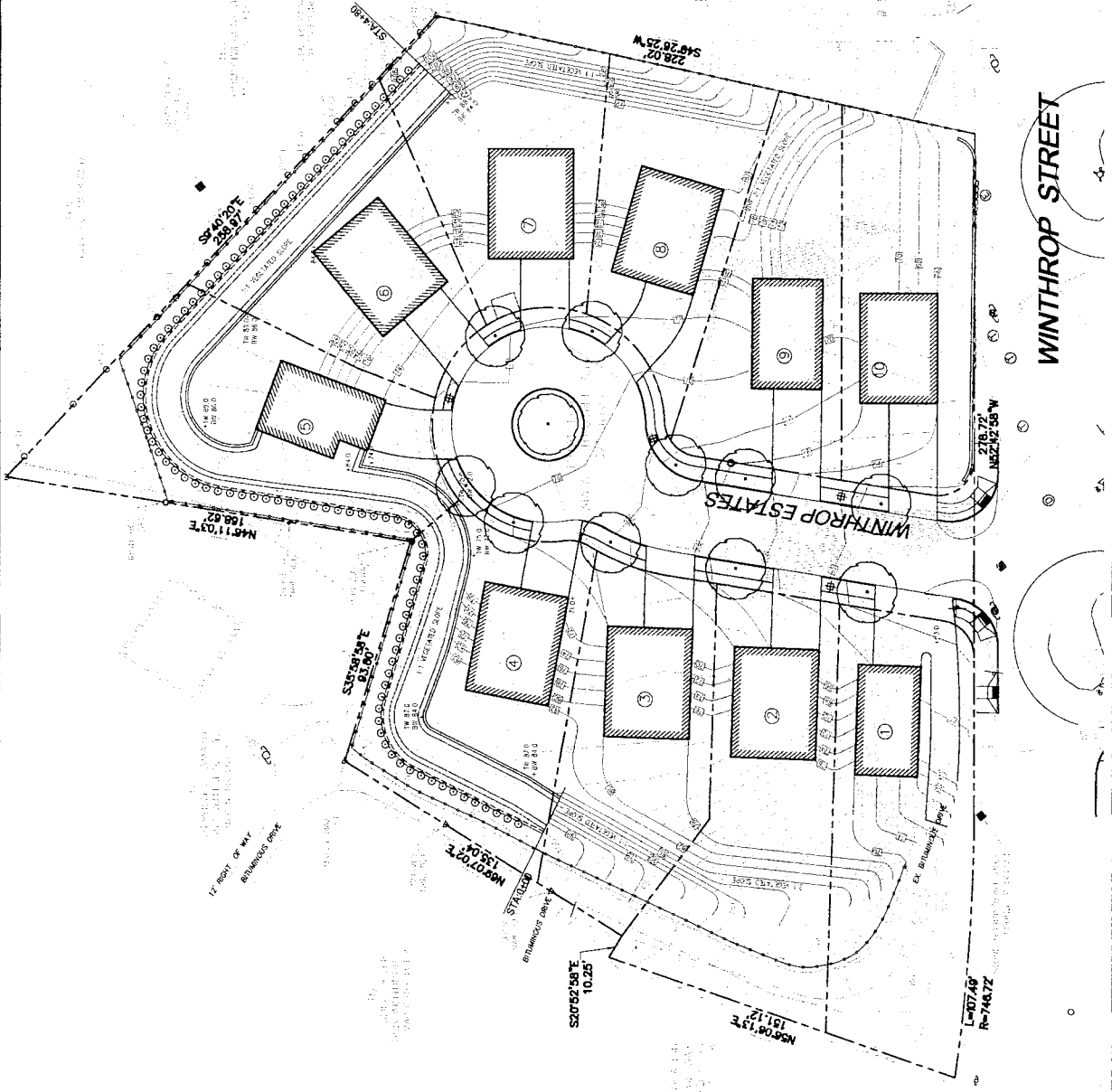
**LANDSCAPE ARCHITECT**  
481 CENTRE STREET, SUITE 100  
ROSELAND, MA 02145  
www.winthrop-estates.com  
481 CENTRE STREET, SUITE 100  
ROSELAND, MA 02145  
SUBDIVISION  
481 & 501 WINTHROP ST  
ROSELAND, MA 02145  
PROJECT INFO

REV	DESCRIPTION	DATE
1	CHANGING COMMUNITY	5/14
2	CHANGING COMMUNITY	5/14



STAMP:  
**LANDSCAPE ARCHITECT**  
**PLAN**  
SHEET NAME: **L1**

SHEET NO.:  
DATE: FEBRUARY 6, 2011  
SCALE: 1" = 20'-0"

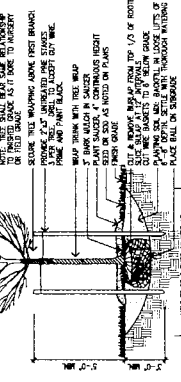
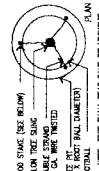


**LEGEND**



DECIDUOUS SHADE TREE  
(11) Acer rubrum - RED MAPLE  
AT 2" DIA. CALIPER

HANGING VINE  
(180) Clematis vitalba  
AT 5' DIA. CALIPER



**DECIDUOUS TREE PLANTING AND STAKING**

SCALE: NTS

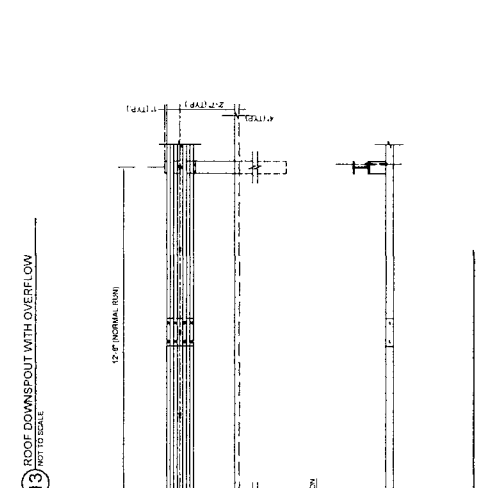
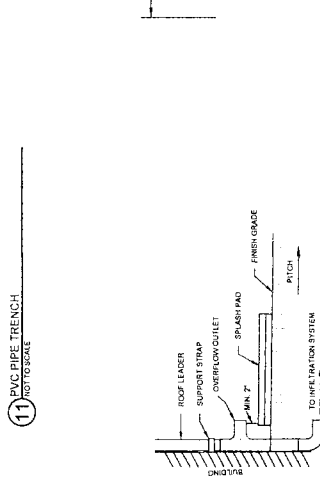
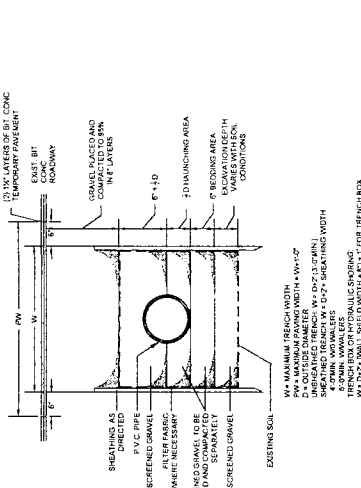
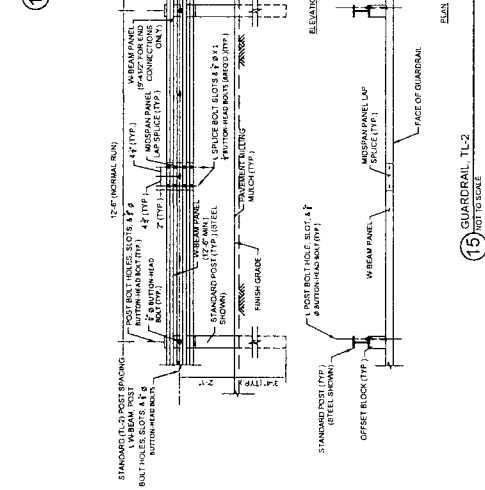
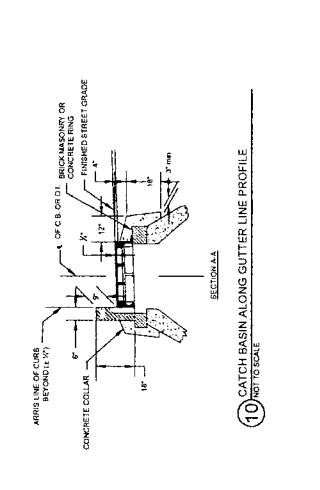
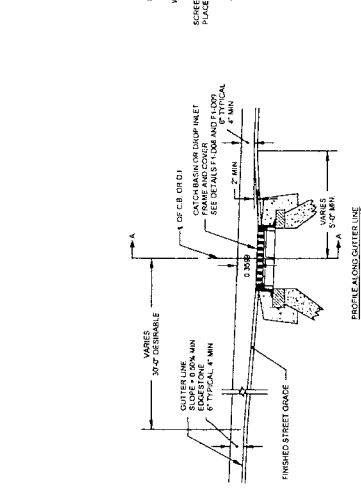
- PLANTING NOTES**
1. FORMS AND SPECIAL PLANTS AS SHOWN. CONSTRUCTION SHALL BE RESPONSIBLE FOR QUALITY OF PLANTING AND STAKING. THE PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
  2. PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
  3. PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
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**WINTHROP STREET**



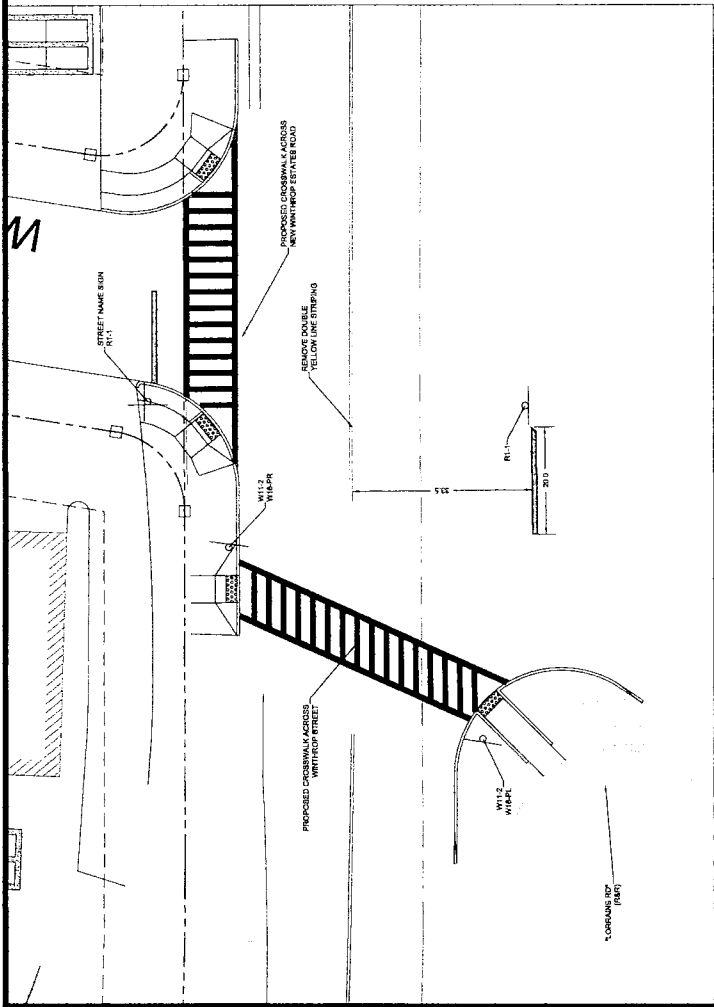








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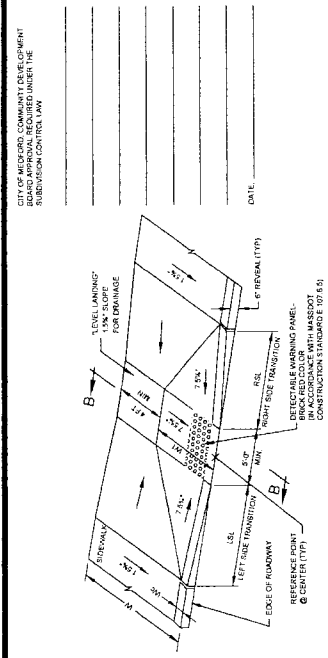




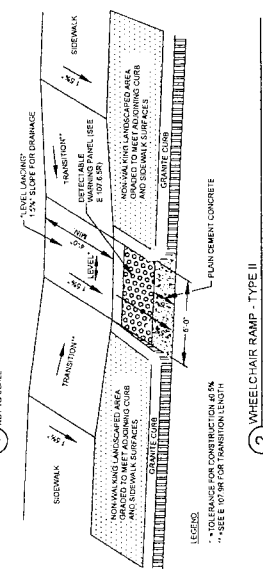
IDENTIFICATION NUMBER	SIZE OF SIGN		TEXT	TEXT DIMENSIONS (INCHES)		NUMBER OF SIGNS REQUIRED	COLOR		POST SIZE AND NUMBER REQUIRED	UNIT AREA (S.F.)	AREA IN SQUARE FEET
	WIDTH (INCH)	HEIGHT (INCH)		LETTER HEIGHT	ARROW SPACING (V.E. WAVE)		BACK- GROUND	LEGEND BORDER			
R1-1	30	30		①	①	2	RED	WHITE	P5-1	6.25	12.5
W11-2	36	36				2	YELLOW	BLACK	P5-6	9.0	18.0
W16-7PL	24	12				1	YELLOW	BLACK	MOUNT W11-2 SIGN	2.0	2.0
W16-7PR	24	12				1	YELLOW	BLACK	MOUNT W11-2 SIGN	2.0	2.0

SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND AMENDMENTS FOR LATEST SPECIFICATIONS ON TEXT, DIMENSIONS, AND COLOR.

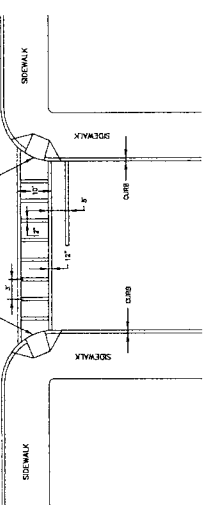
- GENERAL NOTES
1. ALL SIGNING AND STRIPING SHALL CONFORM WITH THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE MASSACHUSETTS AMENDMENTS TO THE 2009 MUTCD AND STANDARD MUNICIPAL TRAFFIC CODE.
  2. ALL SIGN LEGENDS, BORDERS, AND MOUNTING HARDWARE SHALL BE IN ACCORDANCE WITH THE MUTCD.
  3. ALL SIGNS SHALL BE MOUNTED IN ACCORDANCE WITH THE MUTCD AND THE MASSACHUSETTS AMENDMENTS TO THE 2009 MUTCD AND STANDARD MUNICIPAL TRAFFIC CODE.
  4. ALL WORK MUST CONFORM TO THE CITY OF MEDFORD RULES AND REGULATIONS AND MASSDOT STANDARDS.
  5. PEDESTRIAN SAFETY CAN BE IMPROVED BY REDUCING CURB RADIUS AT THE INTERSECTION OF WINTHROP STREETS AND WINTHROP STREET.



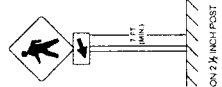
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NOT TO SCALE



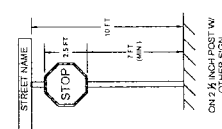
2 WHEEL CHAIR RAMP - TYPE II  
NOT TO SCALE



4 CROSSWALK  
NOT TO SCALE



5 PEDESTRIAN CROSSING SIGN WITH PLAQUE  
NOT TO SCALE



6 STOP SIGN AND STREET NAME SIGN  
NOT TO SCALE

Design Consultants Inc.  
100 Middlesex Ave. Suite 200  
Cambridge, MA 02145  
Tel: 617.552.1234  
Fax: 617.552.1235  
www.dci-engineers.com

PROJECT TEAM  
PROJECT MANAGER: JAMES B. BROWN  
DESIGNER: JAMES B. BROWN  
CHECKER: JAMES B. BROWN  
DATE: 06/01/19

DEFINITIVE SUBDISC  
AND  
SPECIAL PERMIT APPLICATION  
PROJECT INFO

STAMP  
CITY OF MEDFORD  
PLANNING & ZONING DEPARTMENT  
APPROVED FOR THE CITY OF MEDFORD  
DATE: 06/01/19

PROPOSED  
SIGNAGE &  
STRIPING  
PLAN  
SHEET NAME

C6.3

DATE: 06/01/19  
SCALE: 1" = 10'







## Annie Streetman

---

**From:** Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Sent:** Friday, September 06, 2019 11:52 AM  
**To:** Lauren DiLorenzo; Edward Champy  
**Cc:** DePriest, John; Annie Streetman  
**Subject:** RE: Revised Submission  
**Attachments:** Wlnthrop Estates Submission-9.5.2019.zip

Hi Lauren,

Please see attached folder for documents that were submitted.

Thank you,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121



**From:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Sent:** Friday, September 6, 2019 9:20 AM  
**To:** Edward Champy <ecinvest@yahoo.com>; Joseph Lariccia <JLaRiccia@waypointcompanies.com>  
**Cc:** DePriest, John <JDePriest@chelseama.gov>; Annie Streetman <astreetman@medford-ma.gov>  
**Subject:** Revised Submission

Hello Ed,

Annie has told me she has received your submission which includes bound report, plans etc. Please send a digital copy of all information so I may send it to Board members prior to the meeting. Thank you

### Disclaimer

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## Annie Streetman

---

**From:** Annie Streetman  
**Sent:** Monday, September 09, 2019 3:10 PM  
**To:** Edward Champy III  
**Cc:** Lauren DiLorenzo; Tim McGivern; DePriest, John; Joseph Lariccia  
**Subject:** RE: Winthrop Street Estates-Re-submission

Hello Ed,

An initial review of the materials that we received on Friday has found that we are missing the following items:

1. The "Resolution Report" dated September 5, 2019 refers to the Superintendent of Wires' approval of its proposed lighting plan. Documentation of said approval should be provided under the signature of the Superintendent with reference to a specific plan and any other recommendations from him (Item #12)
2. The "Resolution Report" refers to an updated Stormwater Report with an updated Operation and Maintenance Plan. No updated stormwater information was submitted to the CD Board for its review (Items #24, #25, #39)
3. Item 28 of the "Resolution Report" requests a waiver. This should be submitted as a formal written request to the CD Board along with any other waiver requests (Item #28)

We are still doing a review of the documents and we will get back to you if we need any more information.

Thank you,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

**From:** Edward Champy III  
**Sent:** Friday, September 06, 2019 10:41 AM  
**To:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Cc:** Joseph Lariccia <JLaRiccias@waypointcompanies.com>; Tim McGivern <tmcgivern@medford-ma.gov>; DePriest, John <JDePriest@chelseama.gov>; Annie Streetman <astreetman@medford-ma.gov>  
**Subject:** Re: Winthrop Street Estates-Re-submission

Lauren,

I believe JJ was in your office at the time of this email.

If you have any additional questions please let us know.

Ed

Sent from my iPhone

On Sep 6, 2019, at 8:59 AM, Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)> wrote:

Ed,

I have no information before me to determine the extent of changes you are submitting today in the plans JJ has referenced. The information must be reviewed by the relevant departments with a reasonable time for that review. I suggest you give me a detailed list of all changes to plans and reports since the plan set dated February 8, 2019 and revised June 24, 2019 and Stormwater Management Report dated March 13, 2019 and Revised June 21, 2019 were circulated for review and comment. It is a very short timeframe for these to be reviewed and written recommendations provided prior to Wednesday night's meeting.

*Lauren DiLorenzo, Director*

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)

**From:** Joseph Lariccia <[JLaRiccia@waypointcompanies.com](mailto:JLaRiccia@waypointcompanies.com)>  
**Date:** Thursday, September 5, 2019 at 4:00 PM  
**To:** Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
**Cc:** Tim McGivern <[tmcgivern@medford-ma.gov](mailto:tmcgivern@medford-ma.gov)>, Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>, Edward Champy III <[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com)>  
**Subject:** RE: Winthrop Street Estates-Re-submission

Lauren,

After re-reading your email our submission is directly related to Tim's comments dated August 15<sup>th</sup>, 2019. As we just received approval of the plans of the Superintendent of Wires yesterday.

Thank you,

JJ LaRiccia  
Project Engineer  
Email: [jlariccia@waypointcompanies.com](mailto:jlariccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121  
<image001.png>

**From:** Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
**Sent:** Thursday, September 5, 2019 3:50 PM  
**To:** Joseph Lariccia <[JLaRiccia@waypointcompanies.com](mailto:JLaRiccia@waypointcompanies.com)>  
**Cc:** Tim McGivern <[tmcgivern@medford-ma.gov](mailto:tmcgivern@medford-ma.gov)>; Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>; Edward Champy III <[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com)>  
**Subject:** Re: Winthrop Street Estates-Re-submission

Please submit everything by 9:00 a.m. tomorrow. A complete set should be delivered directly to Tim McGivern, City Engineer. What are you submitting exactly? Am I to determine how many copies and how they will be distributed for proper review for Weds? You tell me this now? Unacceptable JJ.

*Lauren DiLorenzo, Director*

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)

**From:** Joseph Lariccia <[JLaRiccia@waypointcompanies.com](mailto:JLaRiccia@waypointcompanies.com)>  
**Date:** Thursday, September 5, 2019 at 3:43 PM  
**To:** Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
**Cc:** Tim McGivern <[tmcgivern@medford-ma.gov](mailto:tmcgivern@medford-ma.gov)>, Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>, Edward Champy III <[ecinvest@yahoo.com](mailto:ecinvest@yahoo.com)>  
**Subject:** Winthrop Street Estates-Re-submission

Good Afternoon Lauren,

Just wanted to inform you that I am printing everything tonight and will be re-submitting first thing tomorrow.

Thank you,

JJ LaRiccia  
Project Engineer  
Email: [jlارiccia@waypointcompanies.com](mailto:jlارiccia@waypointcompanies.com)  
Cell: 781-439-8684  
Office: 781-365-1121  
<image002.png>

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**Annie Streetman**

---

**From:** Annie Streetman  
**Sent:** Monday, September 09, 2019 3:43 PM  
**To:** DePriest, John; Kelly Hurstak; André Leroux; Claes Andreasen; rickorlando1@verizon.net; Deanna Peabody; Jacqueline Furtado  
**Cc:** Lauren DiLorenzo  
**Subject:** Additional Materials for Wednesday's Meeting - Winthrop Street Subdivision  
**Attachments:** 090519\_Winthrop Street Submitted Materials.zip

Hello Everyone,

We just received the attached additional information from Waypoint Development regarding the Winthrop Street Subdivision so I am forwarding it along for you to look at. Materials include a cover letter, a "Resolution Report" dated September 5, 2019 with responses to Tim McGivern's letter dated August 13, 2019, and a set of plans that include revisions dated September 5, 2019.

See you Wednesday,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)



5 Broadway, Suite 200 B, Saugus, MA 01906

Ms. Lauren DiLorenzo  
Office of Community Development  
Medford City Hall, Room 308  
85 George P Hassett Dr,  
Medford, Massachusetts 02155

Dear Ms. DiLorenzo,

Attached please find revised drawings and supporting documents for our proposed subdivision on Winthrop Street in Medford MA. As specified by the Planning Board, Winthrop Street Estates is an unacceptable street name for the proposed development due to its similarity to Winthrop Street. Waypoint would like to name the proposed development Ledgewood Estates. After some research, Ledgewood is not a street name in the City of Medford. Due to time being of importance, Waypoint is requesting permission to begin digging the first foundation before the binder of the road is installed.

The following materials are a part of this submission:

- 3 Original Stamped Full-size plan sets (A set for City Engineer and Office of Community Development Board, one additional set)
- 9 Half Sized plan sets
- 2 Digital Submissions
- 3 copies of Resolution Report
- 3 Renderings for the Site Plan Elevation
- 3 HOA Architectural Oversight Renderings

The Resolution report documents each specific comment made by the city departments that reviewed the submittal and how each comment was addressed. Please distribute a copy of the resolution report along with the revised submittal materials to facilitate review of the updated project documents. It is our understanding that Waypoint's design team and consultants have satisfactorily addressed each comment through the plan and analysis revisions; or have provided written responses where plan changes were not required.

Should you have any questions regarding this submittal, or any other aspect of this project, I can be reached by phone or email.

Sincerely,

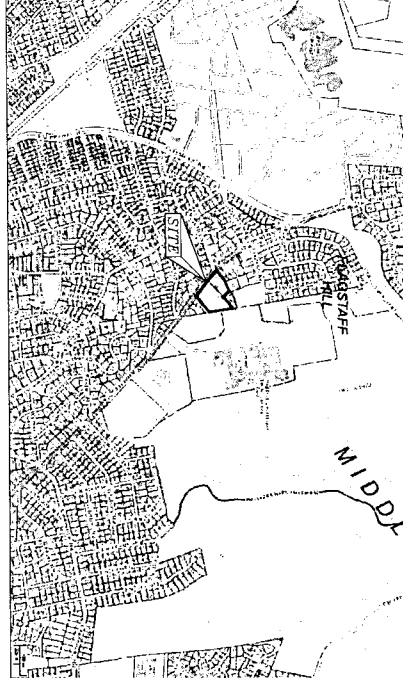
A handwritten signature in black ink, appearing to read 'Ed Champy', with a stylized flourish at the end.

Ed Champy  
Principal  
Waypoint Development

LEGEND OF SYMBOLS & ABBREVIATIONS:

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
INTERIM/EXISTING CONTOUR	INTERIM/EXISTING CONTOUR
INDEX CONTOUR	INDEX CONTOUR
EDGE OF PAVEMENT	EDGE OF PAVEMENT
BRIM/ROAD BERM	BRIM/ROAD BERM
VERTICAL CURVE CLAMP	VERTICAL CURVE CLAMP
SCLOD GRANITE CLAMP	SCLOD GRANITE CLAMP
GUARD RAIL	GUARD RAIL
SEWER	SEWER
WATER	WATER
OVERHEAD ELECTRIC	OVERHEAD ELECTRIC
TELEPHONE	TELEPHONE
NATURAL GAS	NATURAL GAS
CHAIN LINK FENCE	CHAIN LINK FENCE
WOOD FENCE	WOOD FENCE
S&T FENCE	S&T FENCE
NAT. BARS	NAT. BARS
TRAIL LINE	TRAIL LINE
RETAINING WALL	RETAINING WALL
STONE WALL	STONE WALL
CONCRETE SOUND	CONCRETE SOUND
IRON PIPE	IRON PIPE
SPOT ELEVATION	SPOT ELEVATION
CATCH BASIN	CATCH BASIN
DRY WELL	DRY WELL
SEWER MANHOLE	SEWER MANHOLE
ELECTRIC MANHOLE	ELECTRIC MANHOLE
UTILITY MANHOLE	UTILITY MANHOLE
FIRE HYDRANT	FIRE HYDRANT
GATE VALVE	GATE VALVE
UTILITY VALVE	UTILITY VALVE
WELL	WELL
MONITORING WELL	MONITORING WELL
TEST PIT	TEST PIT
PROSOLATION TEST	PROSOLATION TEST
BENCHMARK	BENCHMARK
TRAFFIC FLOW DIRECTION	TRAFFIC FLOW DIRECTION
DRAINAGE FLOW DIRECTION	DRAINAGE FLOW DIRECTION

WINTHROP ESTATES  
DEFINITIVE SUBDIVISION OF LAND  
MEDFORD, MASSACHUSETTS  
PREPARED FOR:  
WAYPOINT DEVELOPMENT  
5 BROADWAY SUITE 200B  
SAUGUS, MASSACHUSETTS



LOCUS PLAN

Sheet List Table

Sheet Number	Sheet Title
T1.0	TITLE SHEET
S1.0	EXISTING CONDITIONS
S2.0	SUBDIVISION PLAN
C1.0	LAYOUT PLAN
C2.0	UTILITY PLAN
C3.0	GRADING PLAN
C4.0	PROFILE
C4.1	DRAINAGE PROFILE
C5.0	CONSTRUCTION MANAGEMENT PLAN
C5.1	TEMPORARY TRAFFIC CONTROL PLAN - PHASE I AND III
C5.2	TEMPORARY TRAFFIC CONTROL PLAN - PHASE II-A
C5.3	TEMPORARY TRAFFIC CONTROL PLAN - PHASE II-B
G1.1	ROCK FACE AND VEGETATED SLOPE LAYOUT
G1.2	ELEVATION OF ROCK FACE AND ROCK DOWEL LOCATIONS
G1.3	CROSS SECTION AND ROCK DOWEL TABLE
G1.4	ROCK FACE DETAILS
G1.5	ROCK FACE NOTES AND REQUIREMENTS
L1.1	LANDSCAPE PLAN
L1.2	LIGHTING PLAN
C6.0	CONSTRUCTION DETAILS
C6.1	CONSTRUCTION DETAILS
C6.2	CONSTRUCTION DETAILS
C6.3	PROPOSED SIGNAGE & STRIPING PLAN
C6.4	EROSION & SEDIMENT CONTROL PLAN
C6.5	EROSION & SEDIMENT CONTROL NOTES

CITY OF MEDFORD, COMMUNITY DEVELOPMENT  
BOARD APPROVAL REQUIRED UNDER THE  
SUBDIVISION CONTROL LAW

DATE: \_\_\_\_\_



Design Compliance Inc.  
Waypoint Development  
5 Broadway Suite 200B  
Saugus, MA 01945  
TEL: 781.231.1234  
FAX: 781.231.1235  
www.designcompliance.com

ZONING TABLE

MIN. LOT AREA (S.F.)	MIN. LOT FRONTAGE (FEET)	MIN. LOT WIDTH (FEET)	MIN. LOT DEPTH (FEET)	MIN. SETBACK (FEET)	MIN. FRONT YARD SETBACK (FEET)	MIN. SIDE YARD SETBACK (FEET)	MIN. REAR YARD SETBACK (FEET)	MIN. LOT COVERAGE (%)	MIN. LOT HEIGHT (FEET)
7,000	75	35	35	15	15	15	15	35	25

ROADWAY REQUIREMENTS (CLASS C)

RIGHT OF WAY	BISECTED	UNBISECTED
MINIMUM GRADE	0.8%	0.8%
STREET LINE RADIUS	7.5'	7.5'
OUTER EDGE RADIUS	48'	48'
WIDTH OF ROADWAY	30'	30'
TRANS. TO TURNING CIRCLE (RAD.)	15'	15'
MIN. LOT DEPTH	35'	35'
STREET CORNER RADIUS	25'	25'
MIN. CORNER	50'	50'
MIN. TANGENT LENGTH	50'	50'
BISECTED PAVEMENT	4'	4'
PLANTING STRIP	5.5'	5.5'

OWNER REFERENCES  
SEAN/DAVID STREET  
OWNER: WINTHROP STREET DEVELOPMENT LLC  
DEED REFERENCE: BOOK 9151 PAGE 95  
ASSESSORS MAP: 04B PARCEL 10  
50 WINTHROP STREET  
OWNER: WINTHROP STREET DEVELOPMENT LLC  
DEED REFERENCE: BOOK 9151 PAGE 95  
ASSESSORS MAP: 04B PARCEL 8

PROJECT: WINTHROP STREET AND 101 W. WINTHROP ST. MEDFORD, MASSACHUSETTS 02155

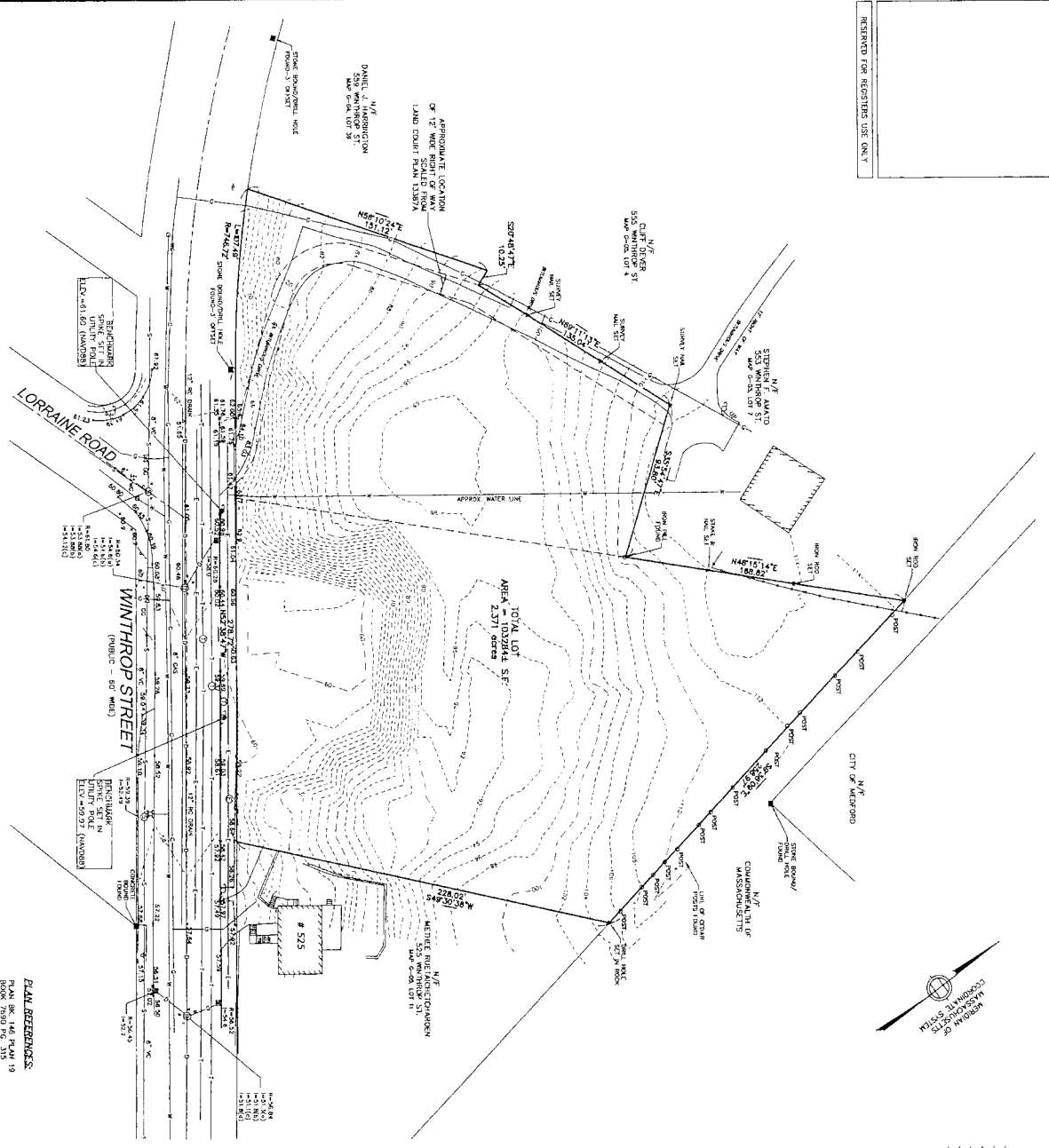
SHEET NAME  
**T1.0**  
DR BY: RB  
CHK BY: ES  
PROJECT: 2017-01  
DATE: FEBRUARY 2, 2019  
SCALE: 1" = 15'



TITLE SHEET



RESERVED FOR REGISTERED USE ONLY



- LEGEND**
- S — SANITARY STORM
  - D — DRAIN LINE
  - W — WATER LINE
  - E — ELECTRIC LINE
  - G — GAS LINE
  - T — TELEPHONE LINE
  - S — SLOPE
  - E — ELECTRIC MANHOLE
  - G — GAS MANHOLE
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  - T — TELEPHONE MANHOLE
  - S — SLOPE
  - E — ELECTRIC MANHOLE
  - G — GAS MANHOLE
  - T — TELEPHONE MANHOLE

**PLAN REFERENCES:**

- PLAN BK. 146 PL. 19
- BOOK 7990 PG. 315
- PLAN 523 OF 2008
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- PLAN 599 OF 2008
- PLAN 600 OF 2008

**EXISTING CONDITIONS PLAN**

**S1.0**

DATE: FEBRUARY 4, 2019

SCALE: 1"=30'

**Design Constraints Inc.**

Design - Survey - Mapping

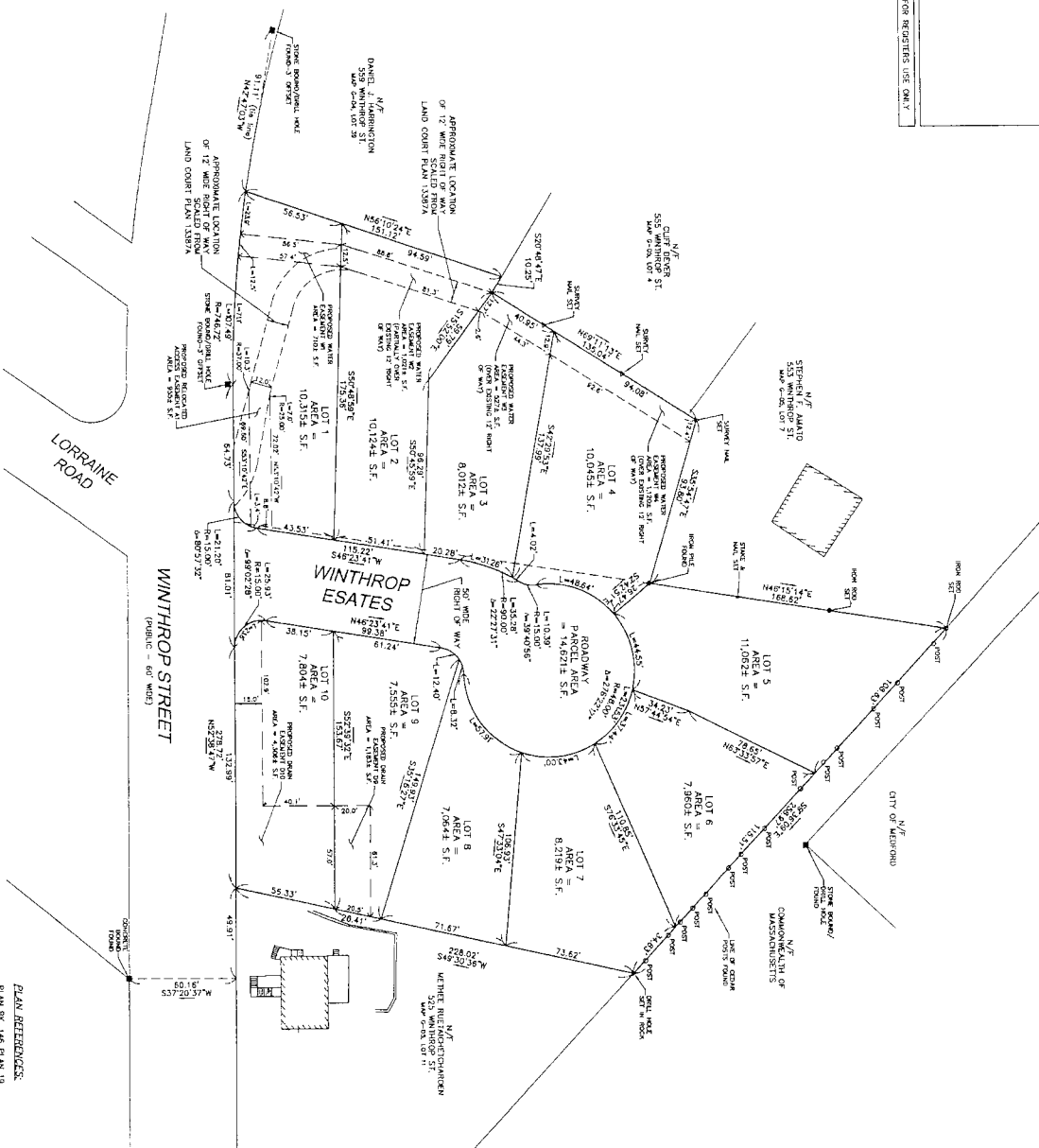
1000 BROADWAY, SUITE 200

SPRINGFIELD, MA 01103

TEL: 413-735-1300

WWW.DESIGNCONSTRAINTS.COM

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PLAN REFERENCES:  
PLAN BK. 146, PLAN 19  
PLAN BK. 146, PLAN 19  
PLAN BK. 146, PLAN 19  
PLAN BK. 146, PLAN 19  
PLAN BK. 146, PLAN 19  
LAND COURT PLAN 1337A



NOTES:  
THE PURPOSE OF THIS PLAN IS TO DIVIDE THE EXISTING PARCELS AS DESCRIBED IN THE RECORDS OF THE MASSACHUSETTS DEPARTMENT OF REVENUE INTO SEVERAL LOTS. THIS PLAN IS THE RESULT OF A PROFESSIONAL SURVEY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE SURVEY WAS CONDUCTED ON JUNE 28, 2017 AND FEBRUARY 21, 2018, BY DESIGN CONSULTANTS, INC. (DCI). THIS PLAN IS THE PROPERTY OF DCI AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DCI. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE MASSACHUSETTS BOARD OF LAND SURVEYORS STANDARDS FOR THE PRACTICE OF LAND SURVEYING. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE MASSACHUSETTS BOARD OF LAND SURVEYORS STANDARDS FOR THE PRACTICE OF LAND SURVEYING. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE MASSACHUSETTS BOARD OF LAND SURVEYORS STANDARDS FOR THE PRACTICE OF LAND SURVEYING.

P.L.S. *Matthew Lowry*  
MATTHEW LOWRY, P.L.S. MASS REGISTRATION NO. 48225  
DATE 8-4-2019



LOCUS TITLE INFORMATION  
SAL & SSI WINTHROP STREET  
OWNER WINTHROP STREET DEVELOPMENT, LLC  
DEED REFERENCE BK. 67331 PG. 55  
PLAN REFERENCE PLAN BK. 146, PLAN 19  
LAND COURT PLAN 1337A



P:\2017 Projects\2017 001 S11 & S23 Winthrop St. Winthrop, MA\2017 001 S11 & S23 Winthrop St. Winthrop, MA.dwg

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_



Design Consultants Inc.  
Somerville, MA 02144  
www.dci-ma.com  
SOMERVILLE, MA, SUITE 20  
617-775-3300  
617-775-3300  
DATE: FEBRUARY 2019  
WINTHROP STREET DEVELOPMENT  
5 BROADWAY SUITE 2000  
SOMERVILLE, MA 02144

PROJECT NAME  
WINTHROP STREET SUBDIVISION  
WINTHROP STREET  
WINTHROP, MA

DEFINITIVE SUBDIVISION PLAN

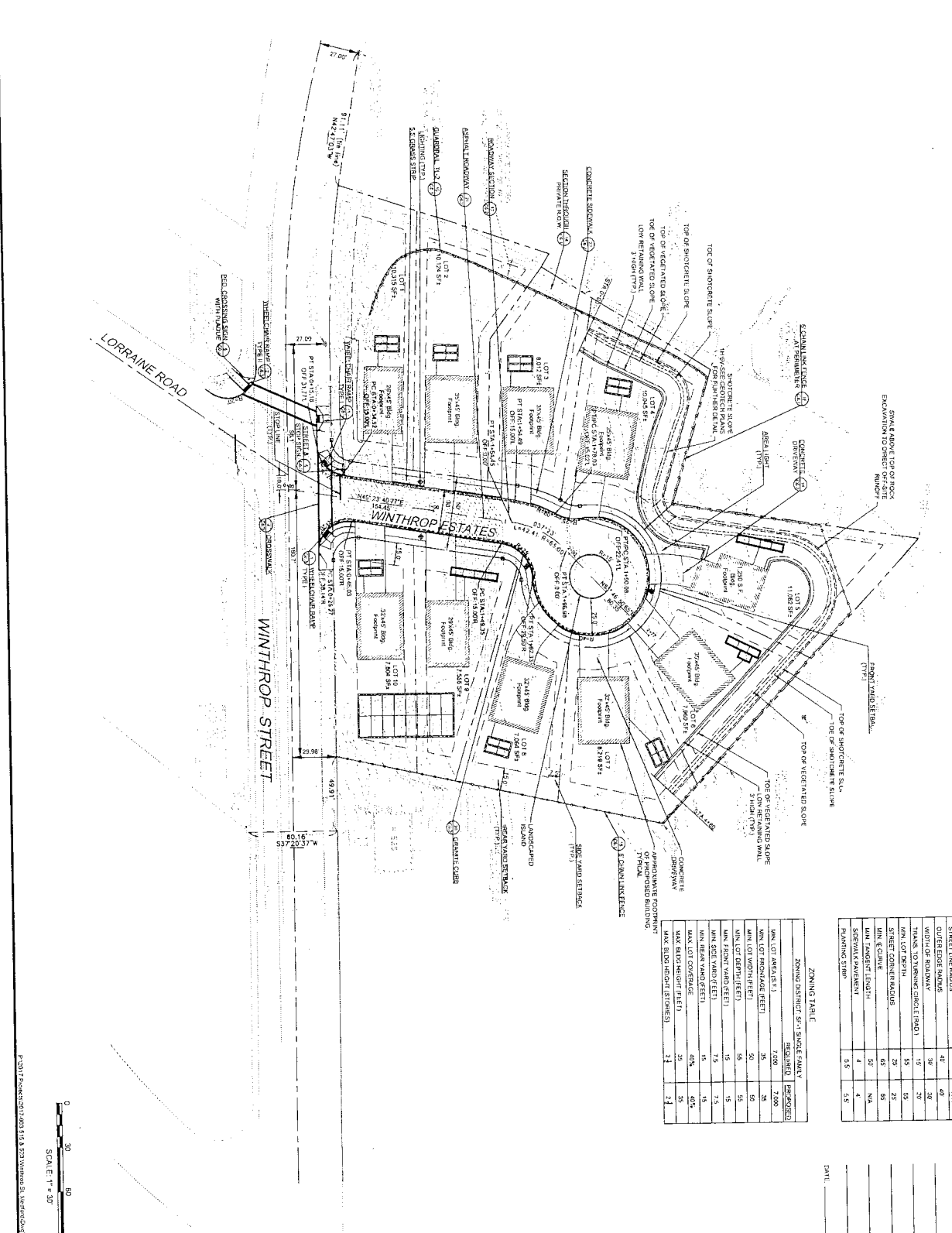
PROJECT NO.

NO.	DESCRIPTION	DATE
1	PRELIMINARY SUBDIVISION PLAN	10/1/2017
2	DEFINITIVE SUBDIVISION PLAN	8/4/2019

SUBDIVISION  
PLAN

S2.0

DATE: FEBRUARY 4, 2019  
SCALE: 1"=30'

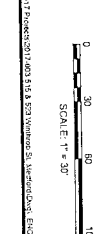


**ROADWAY REQUIREMENTS (CLASS C)**

RIGHT OF WAY	50'	80'
UNPAVED GRADE	0.4%	2%
PAVED GRADE	1.2%	7.5%
SHEET PILE RADIUS	40'	N/A
CUTTER EDGE RADIUS	30'	30'
WIDTH OF ROADWAY	15'	20'
THANKS TO TURNING CIRCLE (RADIUS)	55'	55'
STREET CORNER RADIUS	20'	25'
MIN. CURVE	65'	85'
MIN. JUNCT. LENGTH	50'	N/A
SPECIAL PAVEMENT	4'	4'
PLANNING STRIP	5.5'	5.5'

**ZONING TABLE**

ZONING DISTRICT	MIN. LOT AREA (S.F.)	MIN. LOT FRONTAGE (FEET)	MIN. LOT WIDTH (FEET)	MIN. LOT DEPTH (FEET)	MIN. FRONT YARD SETBACK	MIN. REAR YARD SETBACK	MAX. LOT COVERAGE (%)	MAX. BUILDING FOOTPRINT (%)	MAX. BUILDING HEIGHT (FEET)
UN. LOT AREA (S.F.)	7,000	7,000	7,000	7,000	25'	25'	25'	25'	25'
MIN. LOT FRONTAGE (FEET)	25'	25'	25'	25'	25'	25'	25'	25'	25'
MIN. LOT WIDTH (FEET)	25'	25'	25'	25'	25'	25'	25'	25'	25'
MIN. LOT DEPTH (FEET)	25'	25'	25'	25'	25'	25'	25'	25'	25'
MIN. FRONT YARD SETBACK	25'	25'	25'	25'	25'	25'	25'	25'	25'
MIN. REAR YARD SETBACK	25'	25'	25'	25'	25'	25'	25'	25'	25'
MAX. LOT COVERAGE (%)	25'	25'	25'	25'	25'	25'	25'	25'	25'
MAX. BUILDING FOOTPRINT (%)	25'	25'	25'	25'	25'	25'	25'	25'	25'
MAX. BUILDING HEIGHT (FEET)	25'	25'	25'	25'	25'	25'	25'	25'	25'



**DEFINITIVE SUBDIVISION**  
SPECIAL PERMIT APPLICATION

**PROJECT NAME:** WINTHROP ESTATES SUBDIVISION  
LOT 1 & 301 WINTHROP STREET  
WINTHROP, MA

**DEVELOPER:** WINTHROP ESTATES SUBDIVISION  
5 BROADWAY SUITE 200  
SCARSDALE, MA 07456

**DATE:** 02/26/2010

**SCALE:** 1" = 30'

**CITY OF WINTHROP COMPLAINT DEVELOPMENT**  
SUBDIVISION CONTROL LAW

**DATE:** 02/26/2010

**SCALE:** 1" = 30'

**PROJECT NAME:** WINTHROP ESTATES SUBDIVISION  
LOT 1 & 301 WINTHROP STREET  
WINTHROP, MA

**DEVELOPER:** WINTHROP ESTATES SUBDIVISION  
5 BROADWAY SUITE 200  
SCARSDALE, MA 07456

**DATE:** 02/26/2010

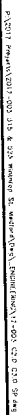
**SCALE:** 1" = 30'

**CITY OF WINTHROP COMPLAINT DEVELOPMENT**  
SUBDIVISION CONTROL LAW

**DATE:** 02/26/2010

**SCALE:** 1" = 30'





DATE \_\_\_\_\_

**Design Consultants Inc.**  
Somerville - Quincy - Needham Heights  
www.dci-consultants.com

DEFINITIVE SUBDIVISION  
AND  
SPECIAL PERMIT APPLICATION  
PROJECT INFO



C3.0

SHR MD
DR BY RB
CHK BY CS
PROJ NO 2017-003
DATE FEBRUARY 8, 2019
SCALE 1"=30'

### PROPOSED ASPHALT ROADWAY

4.25" SUPERPAVE INTERMEDIATE COURSE 12.5 (SIC-12.5

PROPOSED CEMENT CONCRETE WALK / WHEELCHAIR RAMP:

FOUNDATION: 8" GRAVEL BORROW, TYPE B

HMA FOR PATCHING SHALL MATCH EXISTING PAVEMENT LAYERS AND THICKNESSES OVER GENERAL BORROW OR EXISTING GRAVEL BORROW TO REMAIN PER SPECIFICATIONS FOR COMPACTION

1. ASPHALT EMULSION FOR TACK COAT SHALL BE SPRAY APPLIED FOR DOUBLE OVERLAP COVERAGE AT 0.07 GAL/STY OVER MILLER SURFACES, AND 0.05 GAL/STY OVER SMOOTH SURFACES PER SPECIFICATIONS.
2. TACK COAT SHALL BE APPLIED BETWEEN EACH LAYER OF HMA.
3. ALL HMA SHALL BE PRODUCED WITH A WARM MIX TECHNOLOGY.



SUIT NO.	
DR BY: RB	
CHK BY: ES	
PROJ NO 2017-003-00	
DATE FEBRUARY 8, 2019	
SCALE AS NOTED	

## C4.0

SIFT NO

DR BY: RE

DATE: FEB 19 1964

SCALE A

## Station



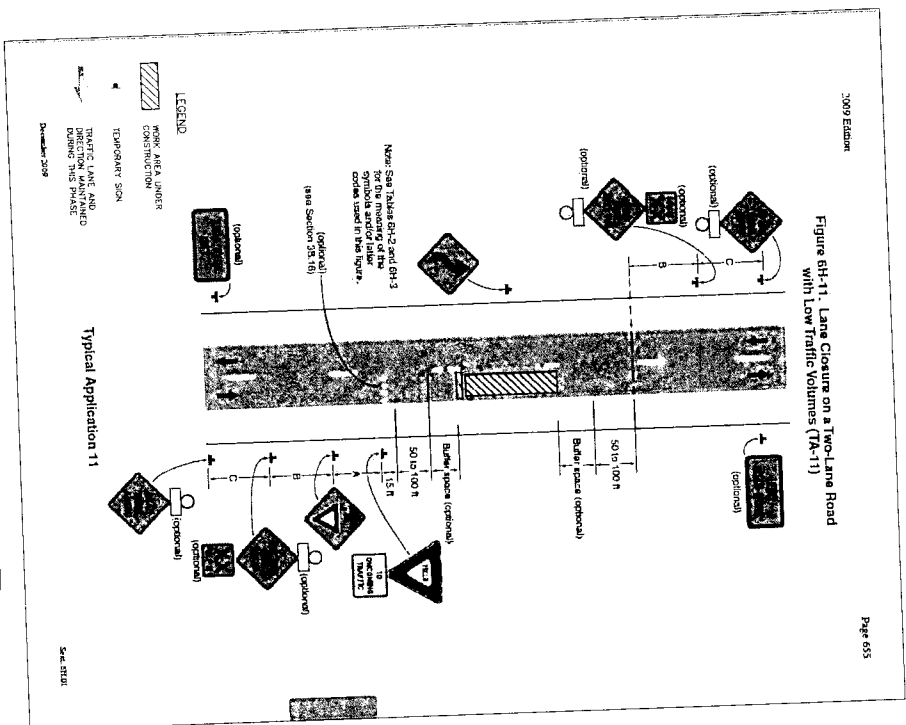
SMT NO
DR BY RB
CHK BY ES
PRJ NO. 2017-003 00
DATE FEBRUARY 8, 2019
SCALE AS NOTED





SHIFT NO.	
DR BY: SCS	
CHK BY: TRES	
PROJ NO: 2017-003	
DATE: FEBRUARY 8, 2018	
SCALE: VARIES	

Figure 6H-11. Lane Closure on a Two-Lane Road with Low Traffic Volumes (TA-11)



### GENERAL NOTES:

- [illegible]

### PHASE II - A NOTES

1. THE TEMPORARY TRAFFIC CONTROL PLAN SHOWN ON THIS PAGE SHALL BE IN PLACE FOR THE DURATION OF UTILITY AND ROADWAY WORK.
2. THE TEMPORARY TRAFFIC CONTROL PLANS DEPICTED ON SHEET CS-3 SHALL CONTINUE TO BE IN PLACE FOR THE DURATION OF PHASE IAA.
3. THIS TEMPORARY TRAFFIC CONTROL PLAN SHALL BE IN EFFECT FOR THE DURATION OF PHASE IAB.

CITY OF MEDFORD, COMMUNITY DEVELOPMENT  
BOARD APPROVAL REQUIRED UNDER THE  
SUBDIVISION CONTROL LAW

NORTH  
CIVIL

**Design Consultants Inc.**  
Senior/Vice-Chief, Mechanical  
www.dciinc.com  
150 WOODBURY AVE SUITE 20  
SCARSDALE, NY 02045  
917/775-5258

DAY OFFICE  
WATERFORD ESTATES SUBDIVISION  
100 WINDYWAY SUITE 200  
SARASOTA, FL 34236  
SALES  
SUPERVISOR  
DESIGN CONSULTANTS INC  
120 MIDLERSWAY SUITE 20  
SOMERVILLE, MA 02145  
PROJECT TEAM  
WATERFORD ESTATES SUBDIVISION  
541 S WINDYWAY STREET  
WATERFORD, MA

DEFINITIVE SUPERVISION  
AND  
SPECIAL PRISON APPLICATION  
PROJECT TWO

[illegible]

A circular postmark from the Commonwealth of Massachusetts. The outer ring contains the text "COMMONWEALTH OF MASSACHUSETTS" at the top and "U.S. MAIL" at the bottom. Inside the ring, the date "SEP 10 1900" is stamped, with "NEW YORK" written below it. To the left of the circular postmark is a stylized, handwritten signature or scribble.

TEMPORARY  
TRAFFIC  
CONTROL PLAN  
- PHASE II-A

DATE	SCALE	VARIET
TRIGL NO	2017403	
CHK BY	TBIES	
OR BY	SGS	
SAT NO		



CITY OF ABERDEEN COMMUNITY DEVELOPMENT  
 ENGINEERING DIVISION  
 1000 W. 10TH AVE. SUITE 200  
 ABERDEEN, MD 21001-4000

DATE: \_\_\_\_\_  
 PROJECT NO.: \_\_\_\_\_  
 SHEET NO.: \_\_\_\_\_



DESIGNER:  
 WATKINS DEVELOPMENT  
 5 BROADWAY SUITE 200  
 BOSTON, MA 02108  
 DESIGN CONSULTANTS INC.  
 120 WILSON AVE SUITE 20  
 SOMERVILLE, MA 01906



WINTHROP ESTATES SUBDIVISION  
 400 LACORDEN PARK DRIVE  
 WILMINGTON, MA 01897  
 CONTRACT NO. \_\_\_\_\_  
 PROJECT NO. \_\_\_\_\_

1	DESIGNING COMMUNITY DEVELOPMENT	DATE: _____
2	ENGINEERING COMMUNITY DEVELOPMENT	DATE: _____
REV	DESCRIPTION	DATE



ROCK FACE  
 AND VEGETATIVE  
 SLOPE LAYOUT

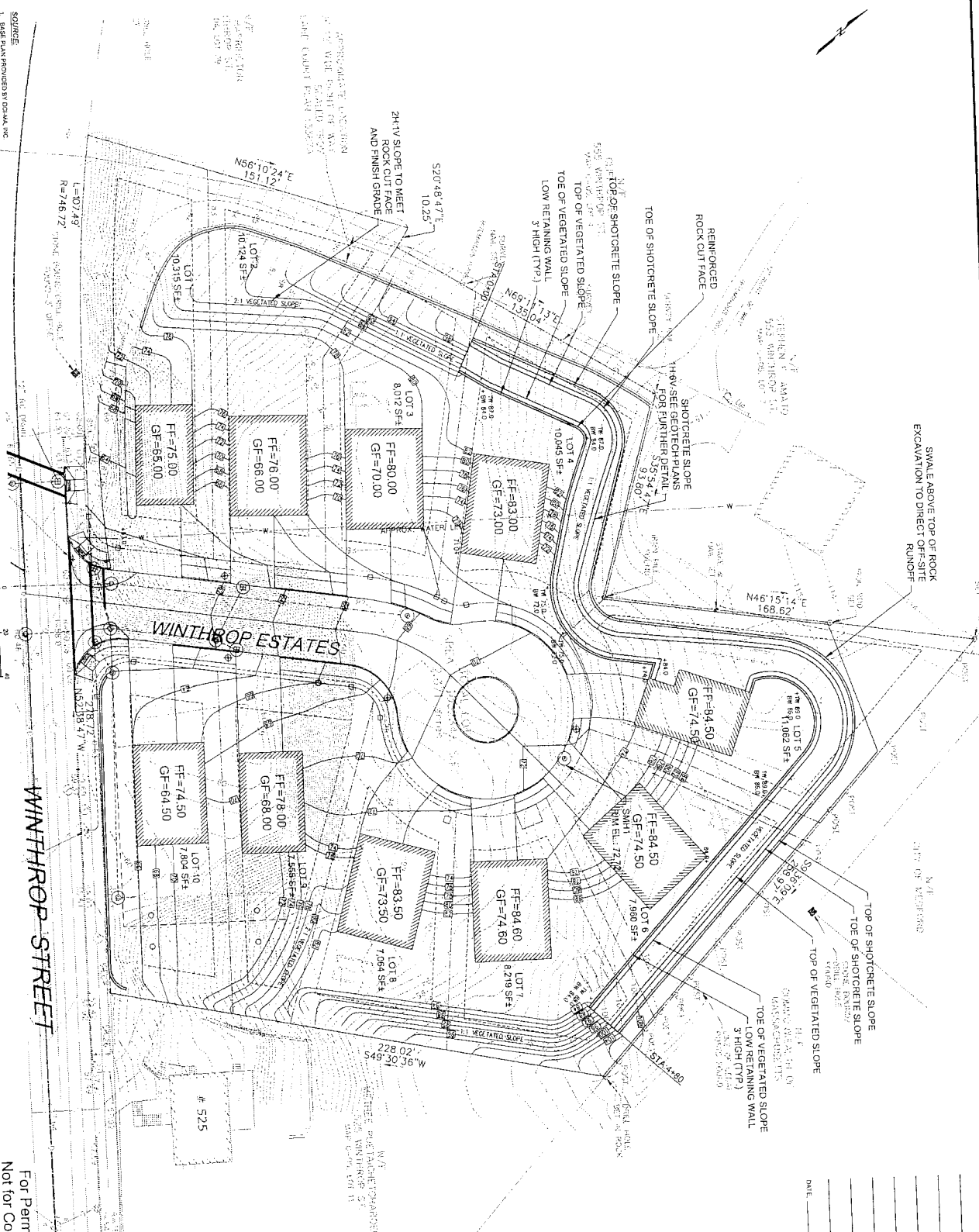
GT-1

For Permit Review  
 Not for Construction

WINTHROP STREET

WINTHROP ESTATES

SOURCE:  
 1. BASE PLAN PROVIDED BY DCI, INC.  
 2. SEE CIVIL AND LANDSCAPE DRAWINGS FOR PROPOSED GRADING



CITY OF MEDFORD SUBMITTER'S CERTIFICATE  
OF REVIEW REQUIRED UNDER THE  
SUBDIVISION CONTROL LAW

DATE: \_\_\_\_\_

**DCI**  
Design Consultants, Inc.  
100 WINTER ST., SUITE 20  
SOMERVILLE, MA 02146  
617.775.3300

DESIGNER:  
DESIGN CONSULTANTS, INC.  
100 WINTER ST., SUITE 20  
SOMERVILLE, MA 02146  
617.775.3300

**GEI**  
Consultants  
400 JUNCTION ROAD, SUITE 200  
SOMERVILLE, MA 02146  
(781) 771-4000

WINTER STREET SUBDIVISION  
SHEET NO. 1 OF 1  
MAY 2010

NO.	DESCRIPTION	DATE
1	WINTER STREET SUBDIVISION	5/1/10
2	REVISIONS	

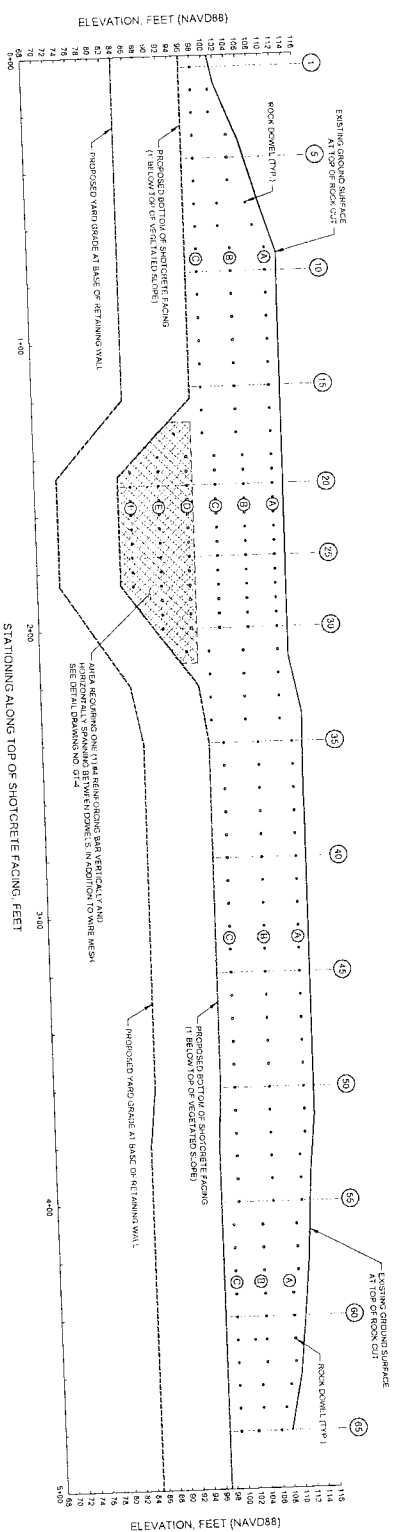


ELEVATION OF  
ROCK FACE AND  
ROCK DOME LOCATIONS

**GT-2**

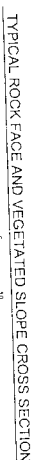
DATE: FEB 8, 2010  
SCALE: AS SHOWN  
NOT FOR CONSTRUCTION

- LEGEND:**
- ROCK DOME
  - ROCK DOME ROW LETTER
  - ROCK DOME COLUMN NUMBER



**NOTES:**  
1. SEE ROCK DOME TABLE FOR DATA ON DOME DIAMETER, LENGTH AND ELEVATION

**DCI**  
Civil  
Design Consultants Inc.  
Sawyerville - Quincy - Hawthorn  
united-consultants  
170 MIDLAND AVE. SUITE 20  
SCARBOROUGH, ONTARIO  
617-776-3350



**NOTES:**  
1. SECTION SHOWN IS FOR HIGHEST PORTION OF WALL. OTHER WALL SEGMENTS HAVE LESS HEIGHT AND FEWER ROWS OF DOWELS. SEE ROCK FACE ELEVATION AND TABLE OF ROCK SIZES FOR DOWEL SIZES, LENGTH, AND ELEVATION.

2. SEE SITE GRADING PLAN FOR DESIGN FINISH GRADE AT TOE OF WALL.
3. SEE LANDSCAPE DRAWING FOR DETAILS OF SITE FINISHING AND SEGMENTAL RETAINING WALL AND BACKFILL.

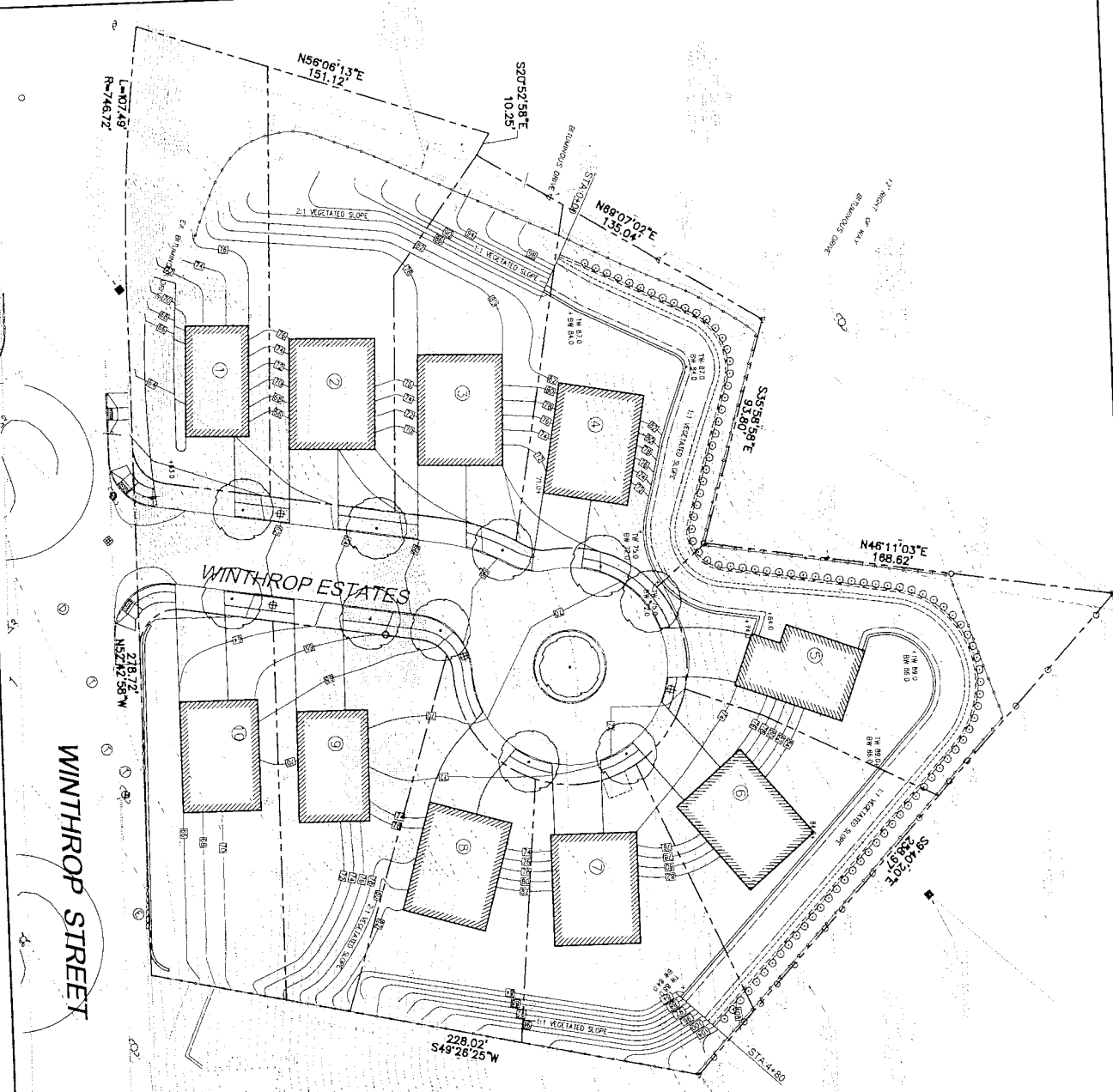
Dowel location	Dowel Size	Dowel Head Description (1)	No. of Ad. Rets (2)
	Diameter (in)	Length (in)	
Dowel Column Number	How Used (2)		
1	A 1.0 B 1.0 C 1.0 D 1.0	10	58
21a 6	A 1.0 B 1.0 C 1.0 D 1.0	10	103 to 104
71a 16	A 1.0 B 1.0 C 1.0 D 1.0	8	96
17	A 1.0 B 1.0 C 1.0 D 1.0	10	107 to 112
18	A 1.0 B 1.0 C 1.0 D 1.0	9	104
29 to 27	A 1.0 B 1.0 C 1.0 D 1.0	10	104
28 to 30	A 1.0 B 1.0 C 1.0 D 1.0	11	98
31	A 1.0 B 1.0 C 1.0 D 1.0	9	93
31 to 34	A 1.0 B 1.0 C 1.0 D 1.0	9	105
35 to 55	A 1.0 B 1.0 C 1.0 D 1.0	9	106
56 to 64	A 1.0 B 1.0 C 1.0 D 1.0	9	107 to 110
65	A 1.0 B 1.0 C 1.0 D 1.0	9	102 to 104
	A 1.0 B 1.0 C 1.0 D 1.0	9	99
	A 1.0 B 1.0 C 1.0 D 1.0	9	105
	A 1.0 B 1.0 C 1.0 D 1.0	9	95
	A 1.0 B 1.0 C 1.0 D 1.0	9	100
	A 1.0 B 1.0 C 1.0 D 1.0	9	101
	A 1.0 B 1.0 C 1.0 D 1.0	9	102
	A 1.0 B 1.0 C 1.0 D 1.0	9	103
	A 1.0 B 1.0 C 1.0 D 1.0	9	104
	A 1.0 B 1.0 C 1.0 D 1.0	9	105
	A 1.0 B 1.0 C 1.0 D 1.0	9	106
	A 1.0 B 1.0 C 1.0 D 1.0	9	107
	A 1.0 B 1.0 C 1.0 D 1.0	9	108
	A 1.0 B 1.0 C 1.0 D 1.0	9	109
	A 1.0 B 1.0 C 1.0 D 1.0	9	110
	A 1.0 B 1.0 C 1.0 D 1.0	9	111
	A 1.0 B 1.0 C 1.0 D 1.0	9	112
	A 1.0 B 1.0 C 1.0 D 1.0	9	113
	A 1.0 B 1.0 C 1.0 D 1.0	9	114
	A 1.0 B 1.0 C 1.0 D 1.0	9	115
	A 1.0 B 1.0 C 1.0 D 1.0	9	116
	A 1.0 B 1.0 C 1.0 D 1.0	9	117
	A 1.0 B 1.0 C 1.0 D 1.0	9	118
	A 1.0 B 1.0 C 1.0 D 1.0	9	119
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	A 1.0 B 1.0 C 1.0 D 1.0	9	121
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	A 1.0 B 1.0 C 1.0 D 1.0	9	124
	A 1.0 B 1.0 C 1.0 D 1.0	9	125
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	A 1.0 B 1.0 C 1.0 D 1.0	9	153
	A 1.0 B 1.0 C 1.0 D 1.0	9	154
	A 1.0 B 1.0 C 1.0 D 1.0	9	155
	A 1.0 B 1.0 C 1.0 D 1.0	9	

DATE FEB 8, 2019  
SCALE AS SHOWN

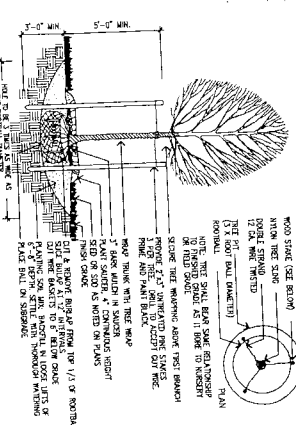




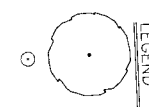




# DECIDUOUS TREE PLANTING AND STAKING



- [illegible]



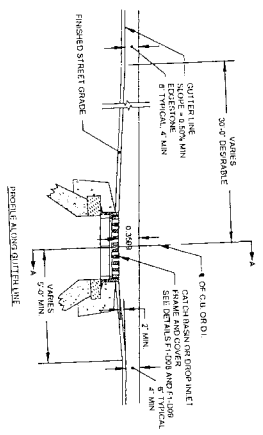
DECIDUOUS SHADE TREE  
(11) Acer rubrum - RED MAPLE  
AT 2" MIN. CALIPER

HANGING VINE  
(190) Clematis Vine  
AT 5" On Center

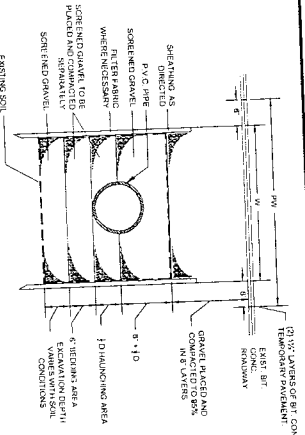
[illegible]

SHEET NAME:	L2
SIT NO:	
DR BY:MR	
CHK BY:	
PROJ NO:18-22	
DATE:FEBRUARY 8, 2000	
SCALE:1"=20'-0"	

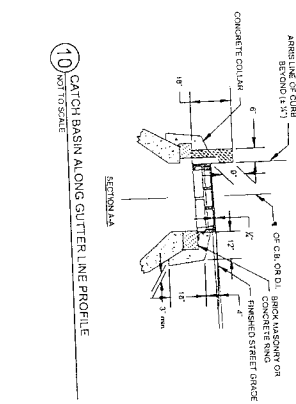




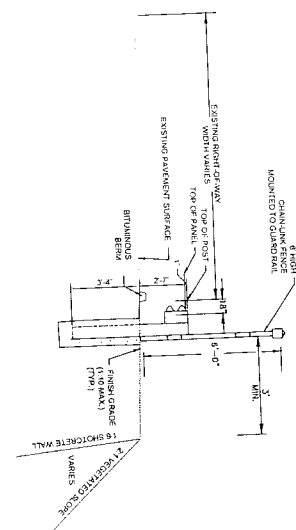
11  
NOT TO SCALE



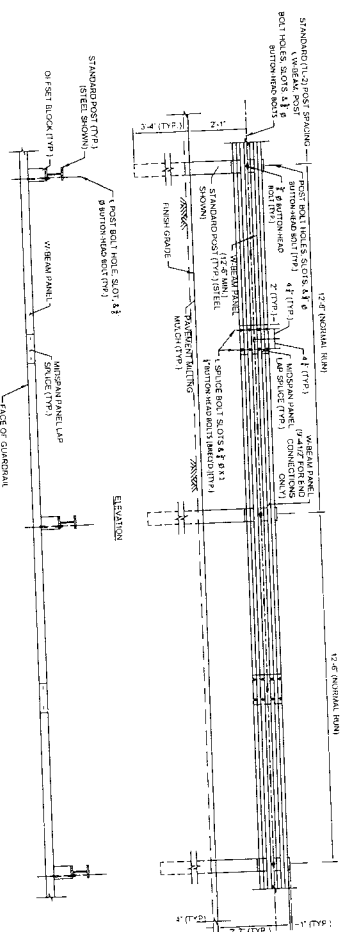
12  
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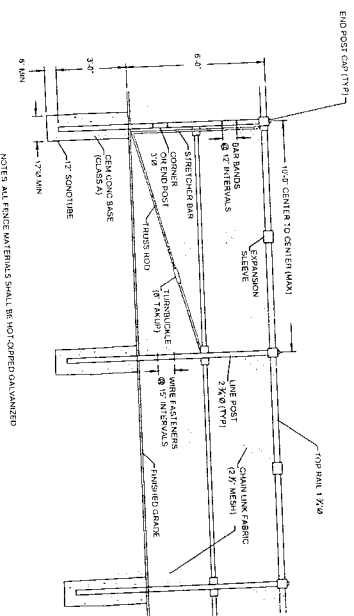
13  
NOT TO SCALE



14  
NOT TO SCALE



15  
NOT TO SCALE



16  
NOT TO SCALE

CITY OF MEDFORD COMMUNITY DEVELOPMENT  
DIVISION CONTROL LAW

DATE: \_\_\_\_\_

NOTE: DETAILS SHOWN ARE INTENDED TO COMPLY WITH CITY OF MEDFORD STANDARDS. SHOULD THE USER OF THIS SET OF DETAILS REQUIRE ANY CHANGES, THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY APPROVALS FROM THE CITY OF MEDFORD.



DESIGN CONSULTANTS INC.  
120 MODERNS AVE. SUITE 20  
SCARBOROUGH, ONTARIO M1V 2Y6  
416-291-7755

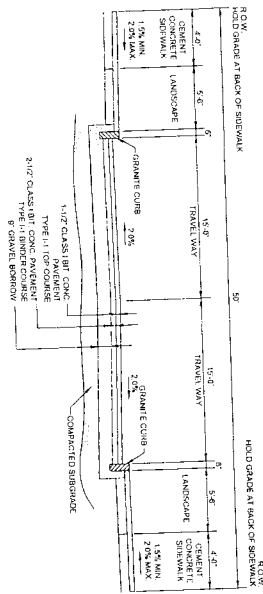
NO.	REVISION	DATE
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2	FOR CONSTRUCTION	2017.03.03
3	FOR CONSTRUCTION	2017.03.03
4	FOR CONSTRUCTION	2017.03.03
5	FOR CONSTRUCTION	2017.03.03
6	FOR CONSTRUCTION	2017.03.03
7	FOR CONSTRUCTION	2017.03.03
8	FOR CONSTRUCTION	2017.03.03
9	FOR CONSTRUCTION	2017.03.03
10	FOR CONSTRUCTION	2017.03.03



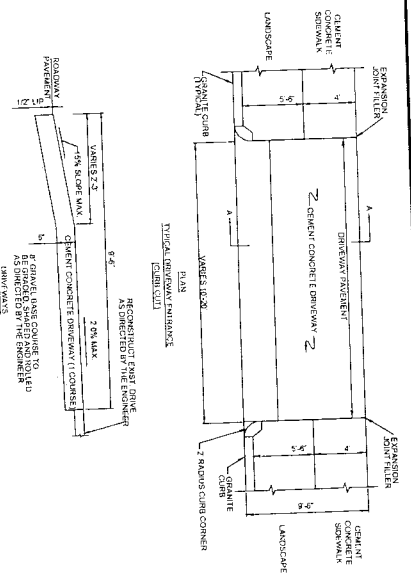
CONSTRUCTION  
DETAILS II

C6.1

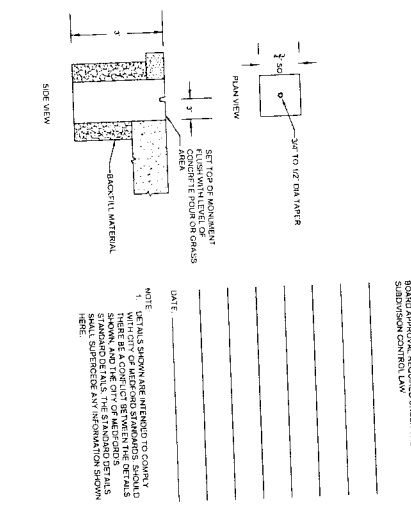
DATE: FEBRUARY 3, 2019  
SCALE: AS NOTED



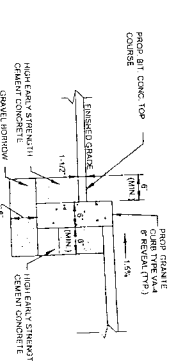
17 ROADWAY SECTION  
NOT TO SCALE



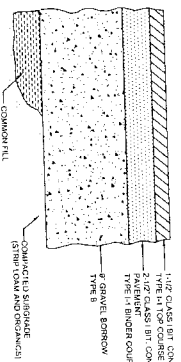
18 CONCRETE DRIVEWAY  
NOT TO SCALE



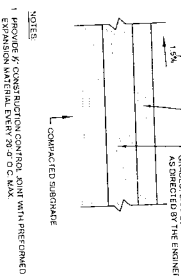
19 STONE ROUND  
NOT TO SCALE



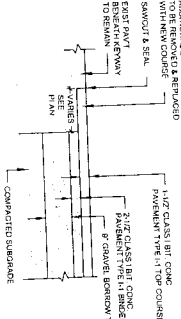
20 GRANITE CURB  
NOT TO SCALE



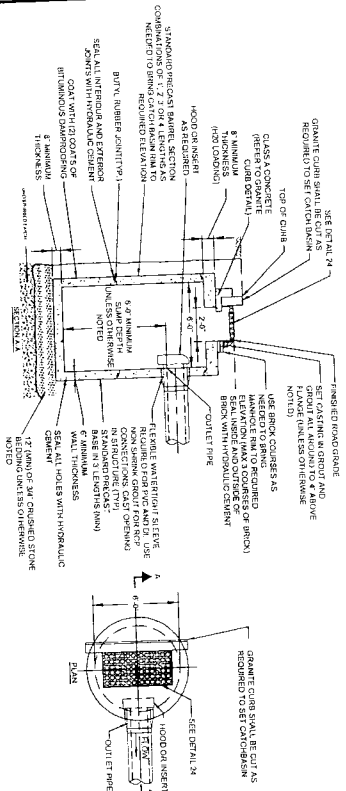
21 ASPHALT ROADWAY  
NOT TO SCALE



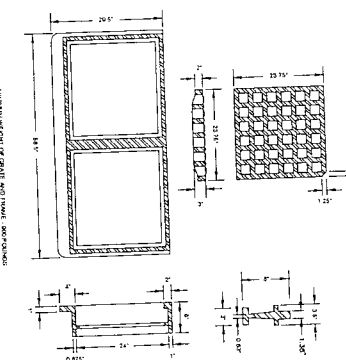
22 CEMENT CONCRETE SIDEWALK  
NOT TO SCALE



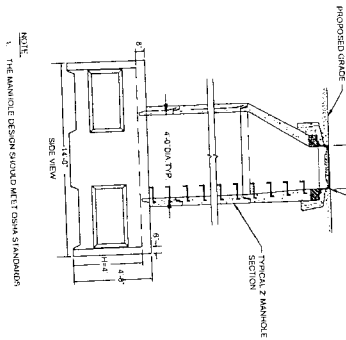
23 OLD TO NEW PAVEMENT TRANSITION  
NOT TO SCALE



24 DOUBLE CATCH BASIN GRATE AND FRAMES  
NOT TO SCALE



25 DOUBLE CATCH BASIN GRATE AND FRAMES  
NOT TO SCALE



26 ROADWAY INFILTRATION AREA ACCESS POINT  
NOT TO SCALE

NOTES: 1. THE MANHOLE DESIGN SHOULD MEET DATA STANDARDS. 2. THE MANHOLE DESIGN SHOULD MEET DATA STANDARDS.

**CONSTRUCTION DETAILS II**

**C6.2**

DATE: FEBRUARY 4, 2019

SCALE: AS NOTED

**Design Consultants Inc.**

3000 Highway 101, Suite 200

Scarborough, Ontario M1V 4Y6

TEL: (416) 291-1111

FAX: (416) 291-1112

WWW.DCI-CANADA.COM

DATE: FEBRUARY 4, 2019

SCALE: AS NOTED

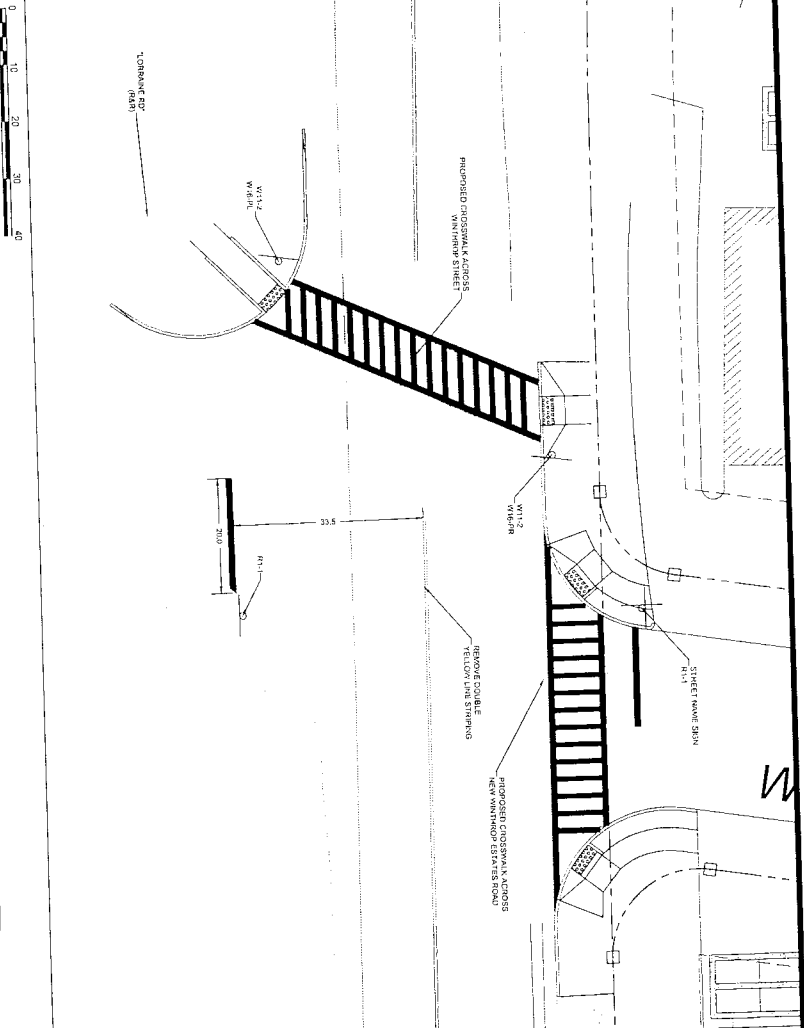
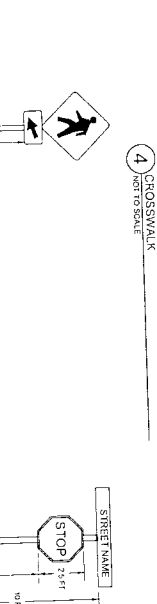
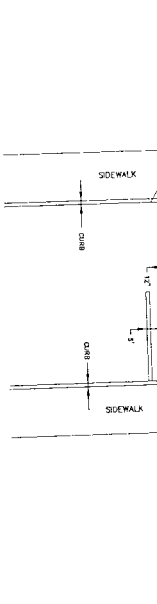
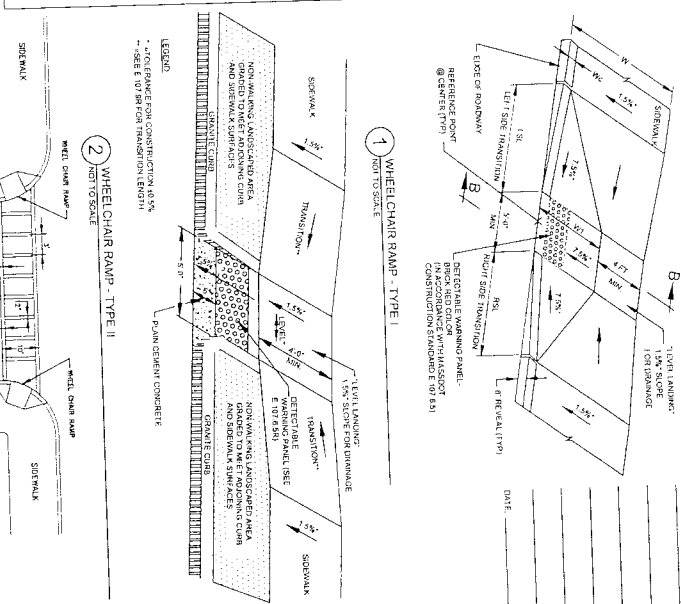
NO.	REVISION	DATE
1	ISSUED FOR PERMIT	02/04/19
2	FOR CONSTRUCTION	02/04/19
3	FOR CONSTRUCTION	02/04/19
4	FOR CONSTRUCTION	02/04/19
5	FOR CONSTRUCTION	02/04/19
6	FOR CONSTRUCTION	02/04/19
7	FOR CONSTRUCTION	02/04/19
8	FOR CONSTRUCTION	02/04/19
9	FOR CONSTRUCTION	02/04/19
10	FOR CONSTRUCTION	02/04/19

CITY OF MASSACHUSETTS  
BOARD OF REGISTRATION  
REQUIREMENTS UNDER THE  
SUBDIVISION CONTROL LAW

DATE: \_\_\_\_\_  
PROJECT TITLE: \_\_\_\_\_  
PROJECT NO: \_\_\_\_\_  
PROJECT LOCATION: \_\_\_\_\_  
PROJECT OWNER: \_\_\_\_\_  
PROJECT ENGINEER: \_\_\_\_\_  
PROJECT DATE: \_\_\_\_\_

**Design Consultants Inc.**  
1000 WEST 10TH AVENUE  
SUITE 200  
DENVER, CO 80202  
TEL: 303.733.4500  
FAX: 303.733.4501  
WWW.DCI-CONSULTANTS.COM

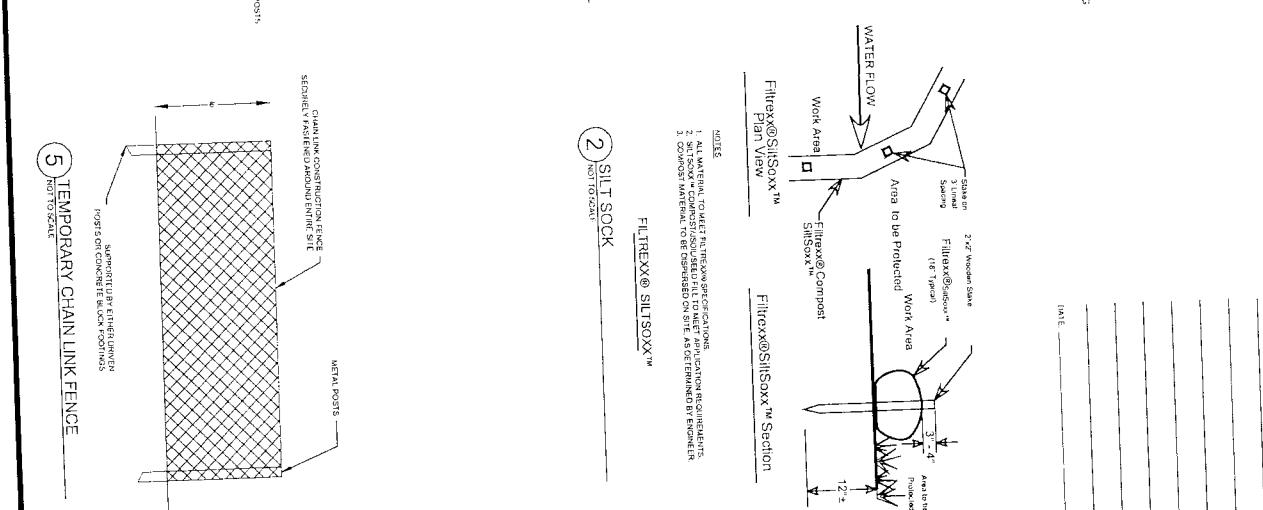
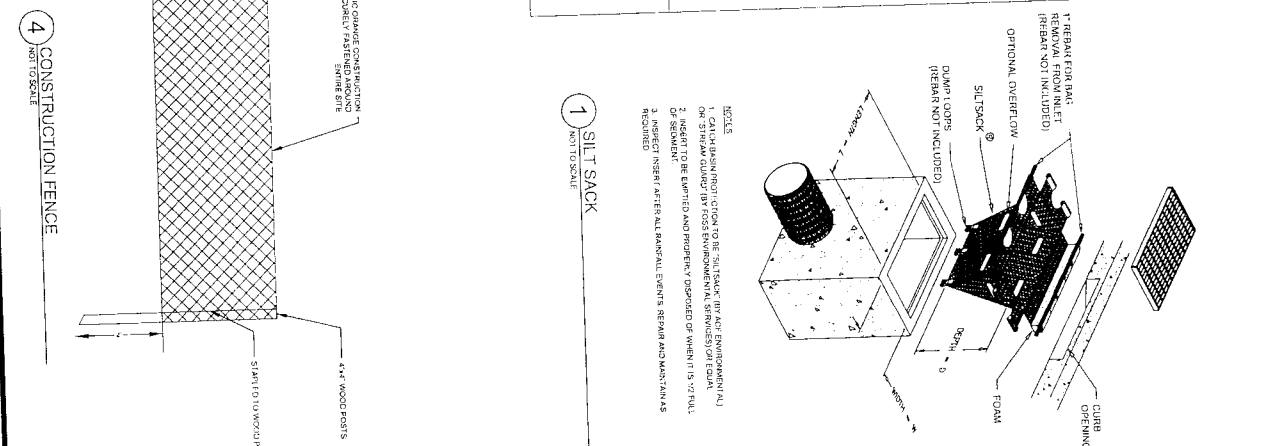
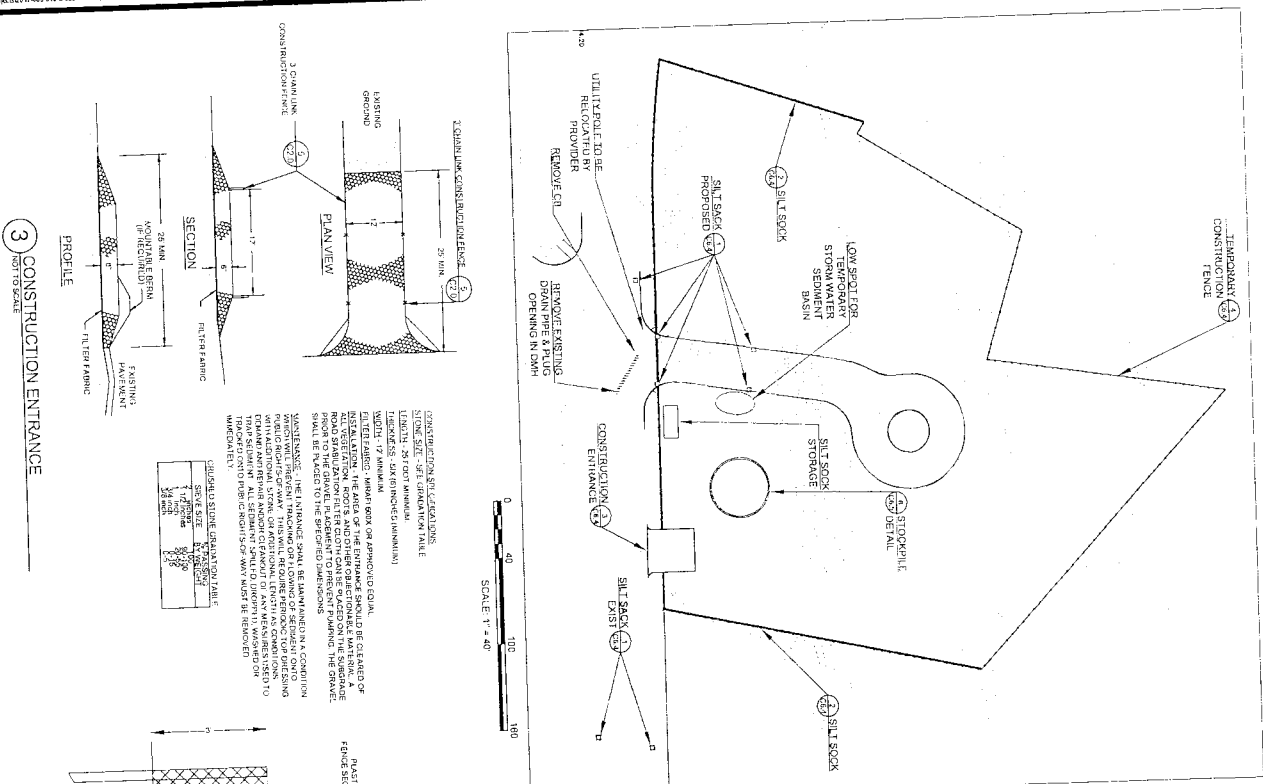
**PROPOSED SIGNAGE & STRIPING PLAN**  
C6.3  
DR BY: SSS  
CHK BY: WCKES  
PROJ NO: 2017-001  
DATE: 06/01/17  
SCALE: 1" = 10'



ITEM NUMBER	SIZE OF SIGN	TEXT	TEXT DIMENSIONS (INCHES)	NUMBER OF SIGNS REQUIRED	COLOR	POST SIZE AND AREA (S.F.)	AREA IN SQUARE FEET
R1-1	30	STOP	10" X 10"	2	RED	P5-1	12.5
W1-1	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-1	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-2	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-3	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-4	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-5	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-6	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-7	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-8	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-9	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-10	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-11	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-12	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-13	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-14	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-15	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-16	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-17	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-18	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-19	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-20	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-21	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-22	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-23	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-24	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-25	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-26	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-27	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-28	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-29	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-30	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-31	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-32	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-33	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-34	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-35	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-36	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-37	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-38	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-39	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-40	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-41	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-42	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-43	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-44	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-45	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-46	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-47	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-48	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-49	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-50	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-51	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-52	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-53	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-54	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-55	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-56	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-57	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-58	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-59	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-60	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-61	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-62	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-63	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-64	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-65	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-66	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-67	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-68	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-69	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-70	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-71	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-72	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-73	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-74	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-75	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-76	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-77	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-78	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-79	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-80	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-81	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-82	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-83	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-84	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-85	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-86	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-87	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-88	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-89	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-90	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-91	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-92	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-93	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-94	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-95	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-96	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-97	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-98	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-99	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0
W1B-100	36	YIELD	10" X 10"	2	YELLOW	P5-5	18.0

SEE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND AMENDMENTS FOR LATEST SPECIFICATIONS ON TEXT, DIMENSIONS, AND COLOR.

1. ALL SIGNING AND STRIPING SHALL COMPLY WITH THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND AMENDMENTS TO THE 2009 MUTCD AND 2009 STANDARD MUNICIPAL TRAFFIC CODE.
2. ALL SIGN LIFECYCLES, BORDERS, AND MOUNTING HARDWARE SHALL BE IN ACCORDANCE WITH THE MUTCD.
3. ALL SIGNS SHALL BE MOUNTED IN ACCORDANCE WITH THE MUTCD AND THE MASSACHUSETTS AMENDMENTS TO THE 2009 MUTCD AND STANDARD MUNICIPAL TRAFFIC CODE.
4. ALL WORK MUST CONFORM TO THE CITY OF WINTHROP RULES AND REGULATIONS AND MASSDOT STANDARDS.
5. PROJECT WORK SAFETY CAN BE IMPROVED BY REDUCING CURB RAMP AT THE INTERSECTION OF WINTHROP ST AND WINTHROP STREET.

[illegible]





# **RESOLUTION REPORT**

**FOR**

**541-551 Winthrop Street  
Medford, MA**

**10-Lot Subdivision**

**Prepared for:**

Waypoint Development  
5 Broadway, Suite 200B  
Saugus, MA 01906

**Prepared by:**

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Project 2017-003

Revised: September 5, 2019



**City of Medford**  
**Questions and Resolutions for Winthrop Street**  
**July 3, 2019**

Following are the comments received for the Winthrop Street Subdivision, along with the resolutions proposed or completed by the owner and project team.

**From: Timothy McGivern, City Engineer**  
**August 13<sup>th</sup> 2019**  
**Winthrop Estates Definitive Subdivision**

**The Certificate**

1. *The Plan appears to show topography that is consistent with the Preliminary Plan. The Engineering Division memo referenced in the Certificate requires that the Preliminary Plan be revised to include contours that reflect the current conditions at the site. The Plan does not reflect the current topography at the site. The Plan should be revised to reflect the current topography at the site.*

*It should be noted that a critical step in the subdivision process is providing an accurate estimate of the proposed work. A significant cost associated with this project is rock removal and an accurate topography of existing conditions should be included in the Plan.*

DCI Response: "DCI has included an existing condition plan in the revised plan set. DCI has surveyed the ledge area that was excavate and revised the contours to reflect the changed condition"

**The comment is addressed on the plans; however, it remains open for the following recommendation. The Engineering Division recommends that the Proponent submit a cut and fill analysis that reflects the final design. This analysis must include all relevant volumes that are required to perform a cost estimate of the required earthwork.**

***Resolution 2: DCI will be submitting cut and fill computation under separate cover.***

2. *The Plan does not appear to indicate that it is prepared using the North American Vertical Datum of 1988 (NAVD 88). The Plan should be revised so all elevations and*

contours are on NAVD 88. All benchmarks should be revised accordingly.

DCI Response: "The benchmark for the subject site was taken from the original existing conditions plan. Given this comment, DCI will provide a closed level to verify the NAVD 88 datum with Neponset Valley Survey's datum."

**The Engineering Division takes no exception to this approach; however, the Plan does not indicate on the Existing Conditions drawing that the datum is confirmed. Once the datum is confirmed, a note should be placed on the Plan indicating the vertical datum.**

***Resolution 2: The datum has been confirmed and a note stating the datum is now on the Existing Conditions Plan.***

3. *The Certificate requires that:*

*"The entrance to the twelve (12) foot right of way from Winthrop Street should be re-evaluated to consider a connection to the new proposed road versus an additional curb cut from Winthrop Street."*

*The Engineering Division did not receive an evaluation for connecting the existing right of way (ROW) to the proposed roadway. The existing ROW contains a shared driveway for the homes at 555 and 553 Winthrop Street. This driveway intersects Winthrop Street, a Class A roadway, at an acute angle and significant grade change. This shared driveway is located on one of the existing parcels of the Plan.*

*The location of the proposed roadway appears to provide an opportunity to improve this existing condition. The existing parcel that contains the ROW becomes area that is used for the larger subdivision; however, the rights of the way must be preserved in the new subdivision. The proposed roadway parcel provides the opportunity for a shared driveway easement from the new Class C roadway and remove it from the Class A roadway. In other words, having the driveway be perpendicular to a "quiet" street instead of at an angle to a "busy" street like Winthrop Street is preferred and should be thoroughly evaluated by the proponent to the satisfaction of the Board.*

DCI Response: "The 12-foot right-of-way has been connected to the new road and a new easement has been shown on the plan."

The Plan indicates that the subject driveway is now connected to the new road via the driveway for Lot 1. This is an improvement to the existing condition. The Board should determine if the Proponent evaluated this driveway to their satisfaction.

*Resolution 2: Awaiting Planning Board's response.*

5. *The Certificate requires that:*

*"The Developer should coordinate with the Complete Street representative and Walk Medford representative to ensure safe pedestrian, bicycle and travel to and along Winthrop Street to Medford High School."*

*The documents received by the Engineering Division did not include correspondence or other material demonstrating compliance with this requirement. The proponent should address this item to the satisfaction of the Board.*

DCI Response: "The owner has met and coordinated with the Complete Streets representative and her comments were incorporated into the plan"

The Engineering Division received a copy of the comments provided by Walk Medford to Waypoint Companies. The comments are summarized below and are adopted by the Engineering Division as advised by Walk Medford:

- 5a. During construction the project shall maintain pedestrian access along the north side of Winthrop Street. This includes sidewalk snow removal, and removal of construction debris and sediment. Walk Medford and the Engineering Division recommend signage warning pedestrians of blasting as they approach.

*Resolution 2: Specific notes have been added to the plan to require removal of snow, ice & debris, also additional signs have been added for blasting zone.*

- 5b. The development abuts the High School parcel. The Plan indicates pedestrian

connectivity from Winthrop Estates to the High School; however, there is an opportunity for a more direct connection. The Proponent should evaluate alternate pedestrian connectivity to the High School via a trail and easement. Walk Medford and the Engineering Division acknowledge this has topographic challenges; however, it appears feasible.

*Resolution 2: The request for evaluating a more direct connection from the Winthrop Street to Medford High School is understood. Proponent will engage in a conversation with the neighboring property at 525 Winthrop St and Walk Medford to further discuss this route.*

#### General

9. *The Plan includes a note on sheet C5.1 that has missing information related to blasting hours. The Plan should be revised to include this information.*

DCI Response: "Blasting hours have been added to CS.1."

The comment appears to be addressed; however, the project will require a blasting permit from the Medford Fire Department. The hours of blasting should be confirmed during that process.

The GT series included as part of the Plan includes information pertaining to rock excavation by blasting. The Engineering Division recommends that the Proponent obtain and submit a letter to the Board from the Medford Fire Department approving the applicable plan set sheets for blasting. The Engineering Division also recommends that the Board indicate in their approval that final blasting requirements are subject to approval by the MFD.

*Resolution 2: Waypoint has been in contact with the Medford Fire Department regarding additional correspondence.*

10. *The drawings included in the Plan have inconsistent title blocks and numbering series. The Plan should be revised to be a consistent set of drawings that have the same title block, dates, and sheet numbering system.*

DCI Response: "DCI has worked with subcontractors to modify numbering and title blocks."

**This comment is not addressed. For example, the GT and L series have a different titleblock than the C series. Another example is the GT series refers to a total set of five (5) drawings, however, they are part of a 22 sheet plan set. These issues must be resolved in the next submission. It should also be noted that all sheets must include the signatory block for the Board.**

***Resolution 2: The GT and L series now use a consistent title block. Any reference to sheet x of x have been removed. All sheets now include the signatory block for the Board.***

11. *The Plan includes requirements for "Rock Excavation, Rock Face Cleaning & Rock Dowel Installation". Note 2 under these requirements indicates "lifts". The Plan should be revised to include heights of the lifts required in each step of the construction process. This should include, but is not limited to, the minimum height of rock face prior to stabilization, and the height of vegetated slopes prior to stabilization.*

DCI Response: "(per Frank Leathers, GEI): Drawing GT-5, Section titled "Rock Excavation, Rock Face Cleaning and Rock Dowel Installation", Note 2 - sentence has been added "Maximum excavation lift height shall be 9 feet below top of rock or lowest previously installed row of dowels.""

**The comment is not fully addressed. Please revise the Plan to include the height of vegetated slopes prior to stabilization.**

***Resolution 2: The maximum grade change from the bottom of the top 1:1 vegetated slope will be 10'. Vegetated slopes will be stabilized with hydoseeding and/or erosion control netting within 48 hours of spreading loam.***

12. *The Plan includes a photometric analysis. This analysis appears to be missing a light near Lot 4. The photometric analysis should be revised to include this missing light, and all other site lights.*

DCI Response: The landscape architect has modified the photogrammetric analysis.

**The Engineering Division recommends that the Proponent obtain and submit a letter to the Board from the Superintendent of Wires approving the Lighting Plan. The Engineering Division also recommends that the Board indicate that the Lighting Plan is subject to approval of the Superintendent of Wires prior to construction.**

***Resolution 2: Waypoint has gained approval from the Medford Superintendent of Lights & Wires, Steve Ramdazzo.***

13. *The Plan does not include sawcuts and street restoration requirements for the excavations proposed in Winthrop Street. The Plan should be revised to include all street restoration requirements including extents, materials, and details.*

DCI Response: "DCI has included limits of saw cuts and street restoration on the plan."

**The Plan does not indicate final pavement restoration limits. Due to the extent of utility work, the Street Opening Permit will require the temporary patches to be milled and overlaid curb-to-curb with at least a 10-foot offset from the trench limits perpendicular to the curb line. The Plan should be revised to include final pavement restoration limits and street marking restoration including applicable details.**

***Resolution 2: The final pavement restoration limits have been revised to include a 10-foot offset from the trench limits. The Trench Within Existing Pavement detail has been revised to be consistent with the plans.***

19. *The Plan includes detail sheets; however, it appears that some of the utility details do not match existing City standards (For example, sanitary sewer manholes require boots, not grouted connections.) The Proponent should review the detail sheet and confirm that they match City standard details. The details should be revised accordingly if they do not match. The Plan should also be revised to include all applicable details. For example, a curb cut detail is applicable and should be shown; a water main trench detail is applicable and should be shown, etc. The review of these details is reserved for a subsequent submission to the Engineering Division.*

DCI Response: "DCI has requested City detail sheet and revised the detail sheet to be consistent with the City of Medford's requirements."

**The Engineering Division provided the Proponent with typical construction details that meet the City standards. As applied to this project the Engineering Division has the following comments:**

- 19a. Detail 2 on C6.3 is titled "Wheelchair Ramp-Winthrop Street"; however, it is tagged at Lorraine Road in plan view. Please clarify and revise as needed.

*Resolution 2: The detail and callouts have been revised to be consistent.*

- 19b. The diameter of the roadway drainage access point is not shown on Detail 8 on C6.2. The proponent should confirm that the manhole design meets OSHA standards for maintenance worker access. Please review and revise as needed.

*Resolution 2: The diameter of the manhole is now shown on the detail.*

- 19c. Detail 7 on Sheet C6.0 includes a reference to existing water service couplings and does not include a buried water box at the corporation stop. The Plan should be revised to remove incorrect references and to include a water gate box over the corporation stops buried to within 18-inches of the roadway surface.

*Resolution 2: We have not seen an installation of a buried gate box over a corporation stop. They are typically buried. DCI has added a buried gate box over the corporation.*

- 19d. Detail 6 on Sheet C6.0 is entitled "Water Service Connection". This appears to be the connection to the Winthrop Street water main. The title should be revised to read "Water Main Connection at Winthrop Street". This detail also indicates a tapping



sleeve and valve. Tapping sleeves and valves are no longer allowed in the City of Medford for water main connections. The connection should be revised to include a tee cut into the main.

*Resolution 2: The detail has been revised to callout Winthrop Street and the tapping sleeve and valve has been replaced by tees. The plans has been updated to be consistent with this detail.*

- 19e. Detail 4 on Sheet C6.0 of a sewer manhole conflicts with other details at the pipe opening. Detail 3 on the sheet appears correct. Please revise accordingly.

*Resolution 2: Detail 4 has been deleted and callouts have been revised accordingly.*

- 19f. Detail 10 on Sheet C6.1 indicates decimal values with no unit. Please revise accordingly.

*Resolution 2: The units in the detail have been revised to be in feet and inches.*

- 19g. Detail 16 on Sheet C6.1 includes a guard rail. Please confirm that this design meets federal highway guard rail design standards.

*Resolution 2: The details have been updated to be consistent with MassDOT construction standards for guardrail type TL-2, which meets FHWA design standards.*

- 19h. Detail 19 on Sheet C6.2 includes a typical driveway apron. This detail conflicts with the plan and section view regarding sidewalk width.  
Please revise accordingly.

*Resolution 2: The detail has been revised to be consistent with the plans.*

- 19i. Detail 8 on Sheet C6.2 includes a manhole access to the SIS and references a detail for the cover; however, the Plan does not include this referenced detail.

***Resolution 2: The plan has been updated to include this call as well as to differentiate between those access ports that have a grate and those that have a cover.***

21. Upon completion of the Subdivision and Site Plan Approval process, a PDF version of the completed revised Plan should be submitted to the Engineering Division for record. This final recorded Plan shall include all appropriate professional stamps, endorsements, and associated site design plans requiring a PE stamp (For example, retaining walls greater than four (4) feet in height).

DCI Response: "DCI will stamp and sign final plans relating to their work, as will Frank Leathers of GEi and Michael Radner of Radner Associates."

**The Engineering Division recommends that the Board include the original comment as a condition of approval.**

***Resolution 2: Awaiting Planning Board action.***

22. Upon completion of the Project, a PDF and CAD version of the as-built should be submitted to the Engineering Division for review and record.

DCI Response: DCI or another survey will develop as-builts and provide these documents to the Engineering Division via both PDF and CAD.

**The Engineering Division recommends that the Board include the original comment as a condition of approval.**

***Resolution 2: Awaiting Planning Board action.***

## **Grading and Topography**

24. The Plan includes a guardrail and fence along the ROW through the site. The Plan or associated documents do not indicate who will own and be responsible for this guardrail system and fence. The Plan should be revised to indicate the owner of the guardrail and fence along the ROW. The Plan

*should also be revised to indicate that the guardrail shall be installed per federal highway requirements.*

DCI Response: "As part of an approved subdivision, a homeowner's association is proposed to be formulated to maintain all safety fencing and guardrails."

**The Engineering Division recommends that a homeowner's association be created with purview over, but not limited to, the maintenance of the rock face walls, stabilized slopes, safety fencing and guardrails throughout the Subdivision. Maintenance requirements should be prepared by the Design Engineers. These recommendations should be submitted to the Engineering Division for review.**

***Resolution 2: Waypoint is putting together a comprehensive O&M Plan with specific input from each engineer discipline. DCI has provided information for the drainage guardrail & fencing. GEI as well as Mike Radner have provided documentation for slopes, rockfaced walls and other soil & rock related elements.***

25. *The Plan includes significant vertical grade change using rock face walls, stabilized vegetated slopes, and retaining walls. The Plan indicates that these systems are located on multiple lots. These systems may need maintenance and repair over time. The Plan does not include information on the future ownership of these systems. The Plan should be revised to clearly indicate ownership of all vertical earth retainage systems.*

DCI Response: "As part of this subdivision, a homeowner's association will be formed to maintain walls, safety fencing and guardrails."

**See the Engineering Division response to Comment #24 above.**

***Resolution 2: A comprehensive O&M Plan is being created. Please see above.***

## **Roadway**

28. *The Plan includes twenty (20) foot radii curb lines at the intersection with Winthrop Street. Section 7.31 of the*

*Regulations require thirty (30) foot radii curb lines at the intersection of Class C roadways with Class A roadways. The Plan should be revised to include thirty (30) foot radii curb lines.*

DCI Response: "DCI has revised the radii, however, does not recommend this change. Given the placement of handicap ramps and crosswalks, it is not recommended to increase the radius. The larger radius takes pedestrians away from their desired route and moves them further away from the intersection where the lines of sight are not desirable."

**The Engineering Division received comments from Walk Medford with a similar recommendation. The Engineering Division recommends that the Proponent request a waiver, and the Board grant a waiver, to Section 7.31 allowing twenty (20) foot radii at the intersection with Winthrop Street.**

***Resolution 2: The Proponent will request a waiver to Section 7.31 allowing twenty (20) foot radii at the intersection with Winthrop Street. The letter is being provided by Waypoint.***

29. *The Plan does not include stone bounds. The Plan should be revised to include stone bounds at the beginning and end of street line curves and at the intersections of other roadway lines pursuant to Section 8.35 of the Regulations.*

DCI Response: "Stone Bounds have been shown on the layout plan."

**The Plan does not appear to show clear scope of installing stone bounds as indicated in DCI's response. The Plan should be revised to include annotations and associated construction details for stone bound installation.**

***Resolution 2: The stone bounds are now shown on the Site Layout Plan and a detail has been included.***

## **Stormwater**

31. *The Plan does not include a Stormwater Pollution Prevention*

*Plan (SWPPP). The construction will involve a significant amount of heavy earthwork including rock face stabilization, steep slope stabilization, and active earth cuts which will be susceptible to on-site erosion. Erosion should be minimized and managed. The sedimentation associated with any occurring erosion shall be controlled on-site. No off-site sedimentation will be permitted. This includes on the surface or via the municipal storm drain system. The Plan should be revised to include SWPPP plan sheets.*

DCI Response: "Erosion control has been shown on the plan."

**The Engineering Division disagrees that enough erosion and sedimentation control is shown on the Plan. The Engineering Division acknowledges that a SWPPP is the responsibility of the Contractor; however, there are requirements that should be directed by a qualified Engineer and included on the Plan. This project requires a large volume of earth excavation and will require coordination between the design professionals and the selected site contractor. At a minimum, the information that should be included on the Plan includes inlet protection locations, requirements, and acceptable methods; stock pile stabilization requirements and acceptable methods; examples of stock pile locations and sedimentation control measures; and perimeter sedimentation control including locations of strawbales and silt fence.**

***Resolution 2: An Erosion & Sediment Control Plan has been included in the plan set. This plan shows inlet protection locations, stock pile locations and perimeter sediment controls. An Erosion Control Notes sheet has also been added.***

32. *The Plan indicates greater than one (1) acre of land disturbance. The project will require an EPA NPDES Construction General Permit (CGP). A copy of the CGP and Stormwater Pollution Prevention Plan (SWPPP) associated with the CGP should be submitted to the Engineering Division for review and the associated plan sheets should be included in the revised Plan. The Engineering Division must review and approve the SWPPP. A copy of the Notice of Intent (NOI) should be sent to the Engineering Division for record.*

DCI Response: "It is understood that an NPDES General Permit is required, however, it is to be filed after an approved subdivision is in place."

This response is not acceptable. The drainage design of the site relies on assumptions that must be confirmed prior to plan approval. The critical assumptions are the elevation of Estimated Seasonal High Groundwater, and the permeability of the subsurface ledge beneath the infiltration systems. The Proponent has multiple options available to obtain the requested data prior to approval of the Definitive Subdivision plan. For example, soil and bedrock borings could be used for permeability tests in the layer of subsurface material located at the bottom of the proposed infiltration systems. Borings could also be used to monitor groundwater levels. While these methods may not be explicitly allowed under the Standards, The Engineering Division takes no exception to considering alternate methods to gather required data.

*Resolution 2: The Proponent (Waypoint) has attempted to excavate a test pit at the location of the large SIS, but was not able to reach the design bottom elevation of the SIS. The pit was excavated to about El. 54, which is about 3 feet above the proposed bottom elevation of the SIS. The bedrock at this depth had not been blasted and could not be excavated without extensive use the PC-210 with a gorilla hammer. At this point a onsite judgement call was made stop the excavation. Due to existing elevations there is ample opportunity to drill for lots 9 and 10. These can be easily accomplished and tested for permeability in which the remainder of the house infiltration systems will be tested during construction. Drilling and blasting for the main infiltration systems and the house infiltration on lots 9 and 10 is currently scheduled for end of September 2019 at this time we will complete the percolation testing for the SIS and lots 9 and 10.*

*Blasting and excavation first is important because the current rock conditions at the proposed SIS and house infiltration fields are not representative of the conditions that will exist after the site has been blasted and excavated. The Proponent has considered the City's suggestion that borings with observations wells be installed and tested at each infiltration location. However, this will not indicate the conditions that will exist after the site is blasted. The Proponent is confident that percolation testing and ground water level measurements taken after the site is blasted and excavated will meet the infiltration system design requirements. The Proponent is committed to modifying the design, if necessary, after blasting and excavation to meet the requirements based on the testing and observations made after excavation.*

*Therefore, the Proponent respectfully requests that the percolation testing and ground water level observation requirement be deferred until the site is blasted and excavated, and the Definitive Subdivision Plan be approved subject to such future testing and design confirmation.*

**See the Engineering Division response to Comment #31. The Engineering Division also recommends that the Board require that the SWPPP be reviewed and approved by the Engineering Division prior to construction.**

***Resolution 2: Please see resolution to Comment #31.***

34. *The Plan indicates that the SIS is the primary Best Management Practice (BMP) of the overall stormwater management system for both quantity and quality mitigation, therefore the correct design and installation of this system is critical to the overall function of the stormwater management system. The infiltration test performed at the site was located approximately 120 feet away from the proposed SIS. Soil and bedrock conditions may vary over distances less than 120 feet. The Plan does not indicate soil testing was performed for the smaller infiltration systems; however, the calculations include an infiltration rate for these systems.*

*All BMPs installed as part of the site's stormwater management system should be designed and built pursuant to Volume 2, Chapter 2 of the Massachusetts Stormwater Standards (The Standards). The proposed SIS design does not include soil test results in accordance with the Standards. The Plan should be revised and updated to include soil testing and design information pursuant to the Standards. The smaller systems for the roofs must also include soil test information to support the calculations presented. Soil testing should be performed within the footprints of the proposed systems.*

DCI Response: "GEi will be conducting additional tests once the final SIS locations have been approved. The testing will cover individual roof systems and the primary BMP. GEi's Report on Rock Core Borings, dated June 21, 2015, contains three boring logs and rock core photographs that indicate the rock at the site is moderately to highly fractured. This is consistent with the rock observed in the exposed rock face and in the test hole where the large-scale infiltration test was performed. The bottom elevations of the SIS's are well below the rock surface and cannot be accessed at this time. The exposed rock will be observed and required infiltration testing will be performed during site excavation to demonstrate that the subsurface conditions are suitable and the SIS design is appropriate."

35. *The Plan indicates that the stormwater management system is entirely comprised of subsurface BMPs. Subsurface BMPs are more difficult to inspect and maintain than surface BMPs. The Proponent should evaluate the siting of a surface basin near Winthrop Street instead of the SIS. Curb breaks may be evaluated instead of catch basins, and a surface forebay may be evaluated for pretreatment. This evaluation should be documented and included in a revised submission. This evaluation should demonstrate the best design is proposed for a system that is intended to be owned and maintained by the City after the roadway is accepted.*

DCI Response: "Although DCI is a proponent of this design style it is often used in more rural environment project with less severe topography. DCI feels that given the topography and size of the subject site subsurface infiltration is a more appropriate solution."

**This response is not acceptable. The Engineering Division is clear in the original comment that the purpose of this evaluation is consideration of inspection and maintenance, not appropriate design style. Also, the Engineering Division acknowledges that the selected design may be best suited for this site; however, the request is to demonstrate this design is the best design, and other options that are easier to inspect and maintain are not practical. For example, the Plan has already been revised to decrease the depth of the system since the last submission. There may be additional opportunities.**

***Resolution 2: At this stage, the owner prefers the subsurface BMP's. The inspection and maintenance will be completed by the home owner's association and video evidence can be provided for assurances.***

37. *The Stormwater Management Report does not include calculations to demonstrate the capacity of the roadway inlets are adequate to capture the flows intended to be mitigated by the SIS. The SIS is shown to mitigate flows for up to 100-year events, therefore the upstream system must be able to capture and convey the peak flow associated with this design storm to the SIS. The Report should be revised to include inlet calculations and closed system calculations to demonstrate the capacity of the roadway inlets and closed system is adequate for the applicable design flows.*

DCI Response: "Calculations for inlet capacity are



now included in the Stormwater Management Report. The pipes have been modeled in HydroCAD to demonstrate adequate capacity."

**The Stormwater Report indicates that CB-1 and CB-2 should have double grates. The Plan indicates single grates. The Plan should be revised to show double grates for CB-1 and CB-2. The Plan should also be revised to include a detail for the double grates.**

***Resolution 2: The plans will be updated to show double grate catch basins for CB-1 and CB-2 and a detail will be included for a double grate catch basin.***

39. *The Stormwater Management Report does not include a long-term operation and maintenance plan. The Stormwater Management Report should be revised to include a long-term operation and maintenance plan. The correct inspection, maintenance and repair information should be provided for all installed BMPs to ensure they function according to manufacturer or design specifications.*

DCI Response: "A long term Operations and Maintenance Plan is included in the Stormwater Report."

**The Operation and Maintenance Plan references inspection ports on the SIS that are no longer in the design. The Operation and Maintenance Plan should be corrected and updated.**

***Resolution 2: The Operation and Maintenance Plan has been updated and is included with this report.***

- 40.d. *The Plan does not include freeboard space within the SIS. The HydroCAD calculations indicate a peak elevation of 60.22 within the SIS. This peak elevation sits outside the confines of the SIS. The peak elevation of the water within the SIS should be contained within the SIS. The Plan and calculations should be revised accordingly.*

DCI Response: "Two risers are modeled as part of the SIS. Both are for access and cleaning. One has a grate and is modeled as an overflow.

During the 100-year storm event, some flow discharges through this grate, by design."

The Stormwater Report indicates that during the 100-year storm event the peak elevation of water in the system is at elevation 65.08. The Engineering Division acknowledges, and takes no exception to, overflow by design; however, there are multiple elements to the overall system connected to the SIS that have rim elevations lower than elevation 65. The Plan indicates that the rim elevations of CB-3 and CB-4 is close to 60.8. This appears to be the first location that will discharge during the staging of the system. The Plan and Stormwater Report should be revised to correct this condition. Also, the Plan should be revised to include a grate on the designated overflow manhole.

*Resolution 2: The HydroCAD model includes CB-3 and CB-4. The peak elevation for CB-3 for the 100 year design storm is 58.34 and the peak elevation for CB-4 for the 100 year design storm is 58.16. These peak elevations will not overtop the rims elevations of 60.78 and 60.80, respectively for CB-3 and CB-4. The plan has been updated to include the overflow grates in the SIS.*

43. The Plan indicates that the depth of the SIS is between 17 and 22 feet to the bottom of stone resulting in between 13 and 18 feet of cover over the system. The Plan also indicates that the maximum depth of cover is 12 feet. The depth of the system presents design challenges that must be addressed:

- a. The Proponent should evaluate if the SIS must be as deep as indicated in The Plan. There may be opportunities for providing the same volume at a different location that will provide relief to the depth. A shallower system is preferred. This evaluation should be documented and included in the revised submission. See additional comments regarding the use of subsurface BMPs. See Comment #29.

DCI Response: "Modification to the site grading particularly on lots 9 and 10 have significantly reduced the cover over the SIS."

**The Engineering Division did not receive an evaluation as requested. This comment**

remains open.

***Resolution 2: Please see the enclosed updated grading plan.***

- b. *The Proponent should consult with the Department of Public Works Highway Division to determine the equipment limitations for servicing the SIS. For example, diameter of access, depth of sediment removal, etc. This information should be used to inform the revised submission.*

DCI Response: "The chamber has been changed to reinforced concrete as recommended. This will facilitate a large diameter access manhole to enhance maintenance."

**The Engineering Division acknowledges the revision; however, we did not receive information indicating coordination or consultation with the Highway Division. This comment remains open.**

***Resolution 2: Waypoint is directly coordinating with the Highway Division.***

- d. *The depth to groundwater beneath the SIS must be confirmed, as well as the infiltration rate at the bottom of stone must be confirmed. The SIS is the primary water quality treatment and rate mitigation BMP for the project and must operate as designed to prevent discharge of untreated water to the municipal storm drain. This information is critical in confirming the design will function correctly post-construction.*

DCI Response: "(per Frank Leathers, GEI) The infiltration test previously performed in a large on-site excavation near the Winthrop Street side of the site showed rock at the location was very permeable and would exceed state infiltration requirements. Also, the bottom of the excavation was about 6 feet below the Winthrop Street level, and there was no evidence of groundwater prior to the start of the test. Additional

observations of groundwater levels and infiltration testing will be performed after excavation to the intended SIS elevations during construction."

As indicated in previous responses the Engineering Division does not approve of this approach. Also, see response to Comment #34. The infiltration test, as well as the rock borings, provide good preliminary information; however, they do not provide the information needed to confirm the proposed design which relies on infiltration and a very low groundwater table. For example, boring B104 is located near the SIS and is the lowest boring on the site. The termination depth of this boring is 24 feet below grade. This puts the bottom of the boring at approximately elevation 61. The bottom of the SIS is more than 10 feet below that at elevation 50.48 (bottom of stone).

The Stormwater Report should be revised to provide the elevation of the Estimated Seasonal High Groundwater table (ESHGW) at the location of the SIS and the home roof systems. The Proponent should also provide permeability values of the soil or rock directly beneath these systems. These tests must take place prior to approval of the Definitive Subdivision Plan. As stated in a previous response, the Engineering Division will accept appropriate data from observation wells as well as permeability testing performed within a boring at the correct elevation.

*Resolution 2: The Proponent (Waypoint) has attempted to excavate a test pit at the location of the large SIS, but was not able to reach the design bottom elevation of the SIS. The pit was excavated to about El. 54, which is about 3 feet above the proposed bottom elevation of the SIS. The bedrock at this depth had not been blasted and could not be excavated without extensive use the PC-210 with a gorilla hammer. At this point a onsite judgement call was made stop the excavation. Due to existing elevations there is ample opportunity to drill for lots 9 and 10. These can be easily accomplished and tested for permeability in which the*

*remainder of the house infiltration systems will be tested during construction. Drilling and blasting for the main infiltration systems and the house infiltration on lots 9 and 10 is currently scheduled for end of September 2019 at this time we will complete the percolation testing for the SIS and lots 9 and 10.*

*Blasting and excavation first is important because the current rock conditions at the proposed SIS and house infiltration fields are not representative of the conditions that will exist after the site has been blasted and excavated. The Proponent has considered the City's suggestion that borings with observation wells be installed and tested at each infiltration location. However, this will not indicate the conditions that will exist after the site is blasted. The Proponent is confident that percolation testing and ground water level measurements taken after the site is blasted and excavated will meet the infiltration system design requirements. The Proponent is committed to modifying the design, if necessary, after blasting and excavation to meet the requirements based on the testing and observations made after excavation.*

*Therefore, the Proponent respectfully requests that the percolation testing and ground water level observation requirement be deferred until the site is blasted and excavated, and the Definitive Subdivision Plan be approved subject to such future testing and design confirmation.*

46. *The Plan indicates that each lot contains an infiltration system for the building roof water. These units provide infiltration that is accounted for in the overall stormwater calculations. In other words, these roof infiltration units mitigate rates and volumes prior to discharge to the City's stormwater collection system. The Proponent should demonstrate that these systems will permanently remain in place and be properly maintained to ensure the on-site stormwater system will function as designed. For example, since these systems are on private property, the City is not able to ensure they are maintained properly and are not removed by the lot owner. The Proponent should address how issues similar to this are resolved. This information should be provided in the revised submission.*

DCI Response: "The owner has agreed to placing a deed restriction on each lot that the units must remain in place and will be maintained annually."

**The Engineering Division recommends that the Board require that the deeds associated with the ten (10) building lots include language that protects the roof**

infiltration systems from removal and disconnection. This deed language should also require the roof systems be maintained annually per maintenance instructions included in the deed.

*Resolution 2: The owner agrees with this comment and will agree to deed restriction for each lot.*

## **Water and Sewer**

47. *The Plan indicates a new sewer connection with an estimated design flow of 3,300 gallons per day. The Engineering Division recommends that the sanitary sewer on Winthrop Street from Lorraine Road to Wildwood Road be videoed with a narrative and stationing. The primary purpose of this video is to confirm the condition of the sewer main servicing the development. A copy of this video should be submitted to the Engineering Division for review and record.*

DCI Response: "The owner is scheduling the video service and will call DCI and the City of Medford in advance to observe the process. The owner will then deliver a copy of the video to the Engineering Division for their review."

**The Engineering Division received and reviewed the video inspection. The video inspection included three (3) sanitary sewer main sections; however, no graphic or plan is included to identify the sections of pipe in plan view. The Engineering Division believes the inspected sections are from R-030A to P- 030 (SMH-1 to SMH-2); from P-030 to P-029 (SMH-2 to SMH-3); and P-029 to P-028 (SMH-3 to SMH-4). In other words, from the manhole at Smith Lane to the manhole at Wildwood Road. The Proponent should confirm this is correct or provide a plan.**

*Resolution 2: The city is correct, SMH-1 is located at Smith Street, SMH-2 is located at Lorraine Road, SMH-3 is located at the south end of the gas station lot. A PDF is available showing the beginning and end of the video.*

**Due to the condition of the sanitary main The Engineering Division recommends that it be lined from P-030 to P-028 (SMH-2 to SMH -4). It should be**

lined with a cured in place liner system. The liner system and curing method must be approved by the Engineering Division prior to installation.

*Resolution 2: The pipe is in fair to good condition. There is some minor cracking and there is no missing pipe pieces displaced joints or pipe destruction or collapsing sections. The owner will discuss this component with the Public Works Department Sewer Division.*

50. *The Water Superintendent will submit a separate letter with requirements from the Water and Sewer Division. The Engineering Division supports the recommendations made by the Water and Sewer Division.*

DCI Response: "See comments from Brian Kerins below."

**The Plan indicates that the water main is connected to the existing 6-inch main in Winthrop Street. The DPW Commissioner and Water Division Superintendent have expressed concerns with this main. The Engineering Division acknowledges that flow tests indicate enough flow is available for the project requirements; however, our records indicate that the water main in this vicinity was installed in 1931. Due to the age of this main (88 years) The Engineering Division recommends that the Proponent evaluate the condition of the water main to confirm it is suitable for connecting a new 8- inch main. The Proponent should coordinate this evaluation with the Water Division and submit results to the Engineering Division for review.**

*Resolution 2: A Utility Contractor will be hired to confirm the condition of the water line at the tie-in location. This exposure and scope of inspection will be coordinated with the City of Medford's Water Department.*

**New Comments:**

52. The Revised Plan includes a Temporary Traffic Control Plan; however, the traffic management plan for Phase II and Phase III is not shown. The Revised Plan indicates that Phase II includes new utility connections as well as sidewalk construction in Winthrop Street both of which will have different Traffic Management Plans (TMP).

The Engineering Division will review the revised Temporary Traffic Control Plan as part of the Definitive Subdivision process; however, final TMP approval is required prior to receiving a Street Opening Permit from the Engineering Division.

***Resolution 2: The Temporary Traffic Control Plans have been updated. The plans have been separated out to show the temporary control plans for each phase of work. Phases I, II, and III from the Construction Management Plan have been called out on each of the temporary traffic control plans.***

53. Sheet C4.0 Proposed Section and Profile includes notes relevant to asphalt sidewalk. The Plan does not include asphalt sidewalk. The Plan should be revised to remove this note and any other irrelevant notes.

***Resolution 2: The plans have been revised to remove any reference relevant to asphalt sidewalk. The notes, typical sections details have been modified accordingly.***

54. The Utility Plan indicates that a catch basin is to be removed in Winthrop Street. The Plan should be revised to include removing the drain pipe from this catch basin to the downstream manhole and plugging the manhole.

***Resolution 2: The plan has been updated to callout the removal of the pipe and the plugging of the opening in the manhole.***

55. The Plan indicates a new pedestrian crossing of Winthrop Street at Lorraine Road. The Engineering Division supports the installation of a crosswalk in this location; however, there are additional items that should be included to further increase the safety of this crossing. The Engineering Division recommends that a stop sign, and stop line be installed at Lorraine Road. We also recommend that the northern curb radius at Lorraine Road be reduced to twenty (20) feet. This will reduce the crossing distance and provide better sight lines for the crossing.

***Resolution 2: The plan has been updated to include a STOP-sign and STOP-line at Lorraine Road. The plan has also been updated to reduce the northern curb radius to twenty (20) feet in order to reduce crossing distance and provide better sightlines.***



## Annie Streetman

---

**From:** Annie Streetman  
**Sent:** Monday, September 09, 2019 3:56 PM  
**To:** Ann Marie Irwin  
**Cc:** Lauren DiLorenzo  
**Subject:** RE: Winthrop Street Project

Hi Ann Marie,

Could you please provide an update on the status of the outstanding taxes you described for 541 & 551 Winthrop Street?

Thank you,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

**From:** Ann Marie Irwin  
**Sent:** Friday, August 23, 2019 9:55 AM  
**To:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Subject:** RE: Winthrop Street Project

Hi Annie-  
This is all past due. Quarter 2 taxes are not due until November 1.  
AM

**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Sent:** Friday, August 23, 2019 9:33 AM  
**To:** Ann Marie Irwin <[airwin@medford-ma.gov](mailto:airwin@medford-ma.gov)>  
**Subject:** RE: Winthrop Street Project

Hi Ann Marie,

Out of this amount, what is the breakdown of past due and current due?

Thank you very much for your help,

Annie

**Annie Streetman**  
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[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

**From:** Ann Marie Irwin  
**Sent:** Friday, August 23, 2019 9:28 AM  
**To:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Subject:** RE: Winthrop Street Project

Hi Annie-  
Our records indicate a balance of \$3835.77 is outstanding on 541 Winthrop and \$1114.53 is outstanding on 551 Winthrop.  
The total owed by Winthrop Street Development at these two properties is \$4950.30.

Let me know if you need anything else.  
Have a nice weekend.  
Ann Marie

**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Sent:** Friday, August 23, 2019 9:01 AM  
**To:** Ann Marie Irwin <[airwin@medford-ma.gov](mailto:airwin@medford-ma.gov)>  
**Subject:** RE: Winthrop Street Project

Hi Ann Marie,

Do you know the total amount of the outstanding taxes for the two properties?

Thank you,

Annie

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**From:** Ann Marie Irwin  
**Sent:** Thursday, August 22, 2019 4:23 PM  
**To:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Subject:** RE: Winthrop Street Project

Hi Annie-

The taxes for 541 Winthrop Street have not been paid in FY 2019 or FY 2020. Similarly, 551 Winthrop has a small outstanding tax liability for FY 2019 and no taxes have been paid in FY 2020. Our records reflect the owner of both properties as "Winthrop Street Development, LLC" with a billing address of 115 Newbury Street, Unit 304, Boston 02116. Please let me know if you need anything further.

Ann Marie

**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>

**Sent:** Thursday, August 22, 2019 10:02 AM

**To:** Ann Marie Irwin <[airwin@medford-ma.gov](mailto:airwin@medford-ma.gov)>

**Cc:** Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>

**Subject:** Winthrop Street Project

Good morning Ann Marie,

Could you please advise if the Winthrop Street subdivision that will be coming before the Community Development Board in September has all of its taxes paid? The address is 541 & 551 Winthrop Street and the owner is Waypoint Development.

Thank you,

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City of Medford

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[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

## Annie Streetman

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**From:** Annie Streetman  
**Sent:** Monday, September 09, 2019 4:40 PM  
**To:** Lauren DiLorenzo  
**Subject:** FW: Winthrop Street Project

**From:** Ann Marie Irwin  
**Sent:** Monday, September 09, 2019 4:29 PM  
**To:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Subject:** RE: Winthrop Street Project

Hi Annie-  
The taxes for 541 Winthrop remain outstanding, with a balance due of \$3880.91.  
The taxes for 551 Winthrop are current.

Ann Marie

**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>  
**Sent:** Monday, September 09, 2019 3:56 PM  
**To:** Ann Marie Irwin <[airwin@medford-ma.gov](mailto:airwin@medford-ma.gov)>  
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Ann Marie

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**Sent:** Friday, August 23, 2019 9:01 AM

**To:** Ann Marie Irwin <[airwin@medford-ma.gov](mailto:airwin@medford-ma.gov)>

**Subject:** RE: Winthrop Street Project

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*Land Use Planner*

Office of Community Development

City of Medford

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**Sent:** Thursday, August 22, 2019 4:23 PM

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**Subject:** RE: Winthrop Street Project

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Ann Marie

**From:** Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>

**Sent:** Thursday, August 22, 2019 10:02 AM

**To:** Ann Marie Irwin <[airwin@medford-ma.gov](mailto:airwin@medford-ma.gov)>

**Cc:** Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>

**Subject:** Winthrop Street Project

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*Land Use Planner*

Office of Community Development

City of Medford

781-393-2480

[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

## Annie Streetman

---

**From:** Kelly Hurstak <Kelly.Hurstak@atcgs.com>  
**Sent:** Tuesday, September 10, 2019 9:18 AM  
**To:** Annie Streetman  
**Cc:** Lauren DiLorenzo  
**Subject:** RE: Additional Materials for Wednesday's Meeting - Winthrop Street Subdivision

Hi Annie –

Is there a figure showing their final proposed topography available for review? Looks like the plans sent show homes on top of existing topography.

Kelly

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**Kelly Hurstak** | AREA MANAGER | **ATC Group Services LLC**  
+1 781 404 1303 | +1 781 428 0363 mobile

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10 State Street, Suite 100 | Woburn, MA 01801-6350  
[kelly.hurstak@atcgs.com](mailto:kelly.hurstak@atcgs.com) | [www.atcgroupservices.com](http://www.atcgroupservices.com)

**From:** Annie Streetman <astreetman@medford-ma.gov>  
**Sent:** Monday, September 09, 2019 3:43 PM  
**To:** DePriest, John <JDePriest@chelseama.gov>; Kelly Hurstak <Kelly.Hurstak@atcgs.com>; André Leroux <andre@ma-smartgrowth.org>; Claes Andreasen <claes.andreasen@gmail.com>; rickorlando1@verizon.net; Deanna Peabody <deanna.peabody@gmail.com>; Jacqueline Furtado <jacquiefurtado@gmail.com>  
**Cc:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>  
**Subject:** Additional Materials for Wednesday's Meeting - Winthrop Street Subdivision

Hello Everyone,

We just received the attached additional information from Waypoint Development regarding the Winthrop Street Subdivision so I am forwarding it along for you to look at. Materials include a cover letter, a "Resolution Report" dated September 5, 2019 with responses to Tim McGivern's letter dated August 13, 2019, and a set of plans that include revisions dated September 5, 2019.

See you Wednesday,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

## Disclaimer

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## Annie Streetman

---

**From:** Lauren DiLorenzo  
**Sent:** Monday, September 30, 2019 3:15 PM  
**To:** DePriest, John; Kelly Hurstak; Rick Orlando; Deanna Deveney; Jacqueline Furtado; Claes Andreasen; André Leroux  
**Cc:** Annie Streetman  
**Subject:** Copy of Cert. of Denial  
**Attachments:** Certificate of Denial. Winthrop Street Estates 2019.pdf

Attached is a copy of the Certificate of Denial for Winthrop Estates.

*Lauren DiLorenzo, Director*

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)



**City of Medford**  
COMMUNITY DEVELOPMENT BOARD

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City Hall  
85 George P. Hassett Drive  
Medford, Massachusetts 02155

Telephone  
(781) 393-2480  
FAX: (781) 393-2342  
TDD: (781) 393-2516

**CERTIFICATE OF DISAPPROVAL  
DEFINITIVE SUBDIVISION PLAN  
AND SITE PLAN REVIEW SPECIAL PERMIT  
WINTHROP ESTATES SUBDIVISION  
541 & 551 WINTHROP STREET  
MEDFORD, MASSACHUSETTS**

It is hereby certified by the City of Medford, Massachusetts Community Development Board (Planning Board), that at a duly called and properly posted continued public hearing held on September 11, 2019, it was unanimously voted to disapprove the Special Permit for Site Plan Review Application and the Definitive Subdivision plan entitled "Winthrop Estates Subdivision, 541 & 551 Winthrop Street, Medford, Ma", prepared by Design Consultants, Inc, dated February 8, 2019 and revised June 24, 2019 and September 5, 2019.

**APPLICANT:** Ed Champy, Waypoint Development, 5 Broadway, Suite 200 B, Saugus, Ma 01906.

**OWNER:** Winthrop Street LLC., 5 Broadway, Suite 200 B, Saugus, Ma 01906.

The Applicant filed the Definitive Subdivision Plan and Special Permit for Site Plan Review Application to the Community Development Board on March 20, 2019. The combined public hearing was opened on May 15, 2019 and was continued at the Applicant's request and with the Board's approval until September 11, 2019.

The subject applications concern land at 541 & 551 Winthrop street. The Applicant proposes the creation of a new roadway and the creation of ten (10) house lots. The site has significant grade changes and ledge.

**DECISION OF THE BOARD:** Approval of the Definitive Subdivision: **DENIED**  
Special Permit Site Plan Review: **DENIED**

**VOTE OF THE BOARD:** UNANIMOUS

In support of the findings the Board considered testimony at the public hearing and the following documents and submissions:

- a) Certificate of Approval of a Preliminary Plan Winthrop Estates, 515&520 Winthrop Street to Edward Finn, City Clerk, date stamped May 7, 2018;
- b) Letters from the following department heads to John DePriest, Chairman:
  - Mark E. Rumley, City Solicitor, dated May 10, 2019
  - Frank A. Giliberti, Jr. Chief of Fire dated May 14, 2019
  - Timothy J. McGivern, City Engineer, dated May 7, 2019
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  - Brian Kerins, Commissioner of Public Works dated May 9, 2019
- c) Definitive Subdivision Plan entitled "Winthrop Estates Subdivision, 541 & 551 Winthrop Street, Medford, Ma", prepared by Design Consultants, Inc, dated February 8, 2019;
- d) Definitive Subdivision and Special Permit Application Written Statement dated March 12, 2019 prepared by Erik S. Swanson, P.E., Design Consultants, Inc. addressed to Lauren DiLorenzo, Director, Office of Community Development;
- e) Stormwater Management Report prepared for Waypoint Development by Design Consultants, Inc, dated March 13, 2019;
- f) Memorandum dated January 24, 2018, from Francis D. Leathers, P.E. and Anne Leifer, P.G., LSP, Design Consultants, Inc. to Ed Champy, Waypoint Company regarding Rock Cut Slope Design Evaluation and Recommendations Winthrop Estates, Medford, MA;
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- h) Traffic Impact & Access Study, 515 & 523 Winthrop Street-Winthrop Estates, Medford, Massachusetts prepared by Design Consultants, Inc, dated November 2018 for Waypoint Development;
- i) Memorandum dated March 8, 2019 from Michael F. Clark, P.E. to Erik Swanson, P.E., Design Consultants, Inc. regarding Hydrant Flow Test Winthrop Street Development, Medford, MA;
- j) Definitive Subdivision Plan entitled "Winthrop Estates Subdivision, 541 & 551 Winthrop Street, Medford, Ma", prepared by Design Consultants, Inc, dated February 8, 2019 and revised June 24, 2019;
- k) Memorandum from Adam Macsata, EIT, Fire Protection Engineer/Code Consultant, Commercial Construction Consulting, Inc. to Joseph Lariccia dated July 11, 2019 regarding Winthrop Estates, Medford;
- l) Stormwater Management Report for 541-551 Winthrop Street, Medford, MA 10 -Lot Subdivision" prepared for Waypoint Development by Design Consultants, Inc, dated March 13, 2019 and revised June 21, 2019;

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- n) "Resolution Report for 541-551 Winthrop Street, Medford, MA 10 -Lot Subdivision" prepared by Design Consultants, Inc. and dated July 2, 2019;
- o) "Stormwater Management Report for 541-551 Winthrop Street, Medford, MA 10 -Lot Subdivision" prepared for Waypoint Development by Design Consultants, Inc, dated March 13, 2019 and Revised June 21, 2019;
- p) Wayne's Drains Tractor Camera Inspection Report dated 08/05/2019;
- q) Letters from the following department heads to John DePriest, Chairman
  - Frank A. Giliberti, Jr. Chief of Fire dated August 26, 2019
  - Timothy J. McGivern, City Engineer, dated August 13, 2019
  - Mary Ann O'Connor, Director of Public Health, dated August 14, 2019;
- r) "Resolution Report for 541-551 Winthrop Street, Medford, MA 10 -Lot Subdivision" prepared by Design Consultants, Inc. Revised September 5, 2019;
- s) Foam Board 8 1/2 by 11 Renderings of Site Plan Elevation and Architectural "Oversight";
- t) Definitive Subdivision Plan entitled "Winthrop Estates Subdivision, 541 & 551 Winthrop Street, Medford, Ma", prepared by Design Consultants, Inc, dated February 8, 2019, revised June 24, 2019 and September 5, 2019, containing the following sheets:
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  - S1.0 Existing Conditions Plan dated February 8, 2019, revised June 24, 2019 and September 3, 2019.
  - S2.0 Subdivision Plan dated February 8, 2019, revised June 24, 2019 and September 3, 2019.
  - C1.0 Site Layout Plan dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
  - C2.0 Proposed Utility Plan dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
  - C3.0 Proposed Grading Plan dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
  - C4.0 Proposed Section and Profile dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
  - C4.1 Proposed Drainage Profile dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
  - C5.0 Construction Management Plan dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
  - C5.1 Temporary Traffic Control Plan Phases I and III dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
  - C5.2 Temporary Traffic Control Plan – Phase IIA dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
  - C5.3 Temporary Traffic Control Plan – Phase II-B dated February 8, 2019, revised June 24, 2019 and September 5, 2019.

- GT-1 Rock Face and Vegetated Slope Layout dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- GT-2 Elevation of Rock Face and Rock Dowel Locations dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- GT-3 Typical Rock Face and Vegetated Slope Cross Section and Rock Dowel Table dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- GT-4 Rock Face Details dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- GT-5 Rock Face Notes and Requirements dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- L1 Landscape Plan dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- L2 Lighting Plan dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C6.0 Construction Details I dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C6.1 Construction Details II dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C6.2 Construction Details II dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C6.3 Proposed Signage & Striping Plan dated June 21, 2019, revised June 24, 2019 and September 5, 2019.
- C6.4 Erosion & Sediment Control Plan dated September 5, 2019.
- C6.5 Erosion Control Notes dated September 5, 2019.

#### Facts and Findings:

##### A. Definitive Subdivision:

The plans and application do not conform to the Planning Board's Rules and Regulations by failing to provide proper water, sewer and drainage plans and data sufficient for the City to determine such systems are adequate and do not create a detrimental effect on the proposed lots within the subdivision or the city's municipal systems (Sections 4.513, 4.5126, 4.5127, 4.5128).

The Board determined it provided sufficient time including the granting of an extension of the statutory timeframe for making a decision, in order for the Applicant to address comments and to conduct additional testing and information to support their design of the roadway and utilities. The two pieces of drainage information critical for the City Engineer to be able to confirm that the system will operate properly included the permeability of the underlying soil and rock and the elevation of the seasonal high groundwater table. The Applicant neither requested another extension nor requested a withdrawal.

The Applicant presented statements in the submitted "Resolution Report, Revised September 5, 2019". In the report, DCI proposed "resolutions" to various requests and recommendations of the City Engineer that proposed the submission of information at a later

date: cut and fill computations, review of blasting sheets by the Medford Fire Department, homeowners association and preparation of an operation and maintenance plan for maintenance of rock face walls, stabilized slopes, safety fencing and guardrails, written request to the CD Board for a waiver for compliance with 7.31 dimension of radii at intersections and confirmation of approval of the revised lighting plan by the City's Superintendent of Wires.

Additionally, and importantly, the Applicant did not provide sufficient additional tests requested by the City Engineer in order to confirm that the stormwater management system complies with standards and will function adequately. The Applicant's first response to the Engineer was to state additional tests would be done in the future and that "...required infiltration testing would be performed during site excavation to demonstrate that the subsurface conditions are suitable, and the SIS design is appropriate". The City Engineer had stated this was not acceptable in a letter to the Applicant dated August 13, 2019. In the "Revised Resolution Report" dated September 5, 2019, the Applicant requested "... that the percolation testing and groundwater level observation requirement be deferred until the site is blasted and excavated and the Definitive Subdivision be approved subject to such future testing and design confirmation".

At the continued public hearing it was the City's Engineer's testimony that information specifically determining the permeability of the underlying soil and rock, and the elevation of the seasonal high groundwater table on drainage had been requested as early as May. It was his opinion that there were methods to obtain this information without the amount and method of excavation the Applicant has asserted. Furthermore, he presented he would not recommend to the Board that the definitive plans be approved.

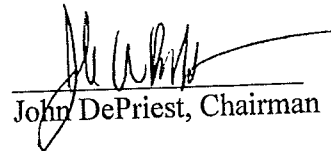
As determined at the public hearing this information was not presented to satisfy the City Engineer who provided testimony he would not recommend the Board approve the definitive subdivision plans nor the site plan review special permit without additional testing for storm water capacity and groundwater level as identified above as well as addressing his earlier recommendations relative to the water and sewage systems.

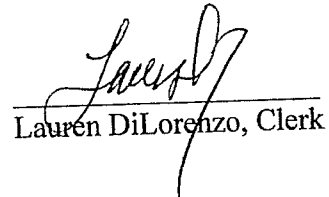
The Board found the information necessary to ensure access for public safety vehicles and the provision of proper utilities to ensure adequate water for domestic and firefighting purposes, sewage and storm drainage was deficient and thus **the Definitive Subdivision Plan was denied.**

#### B. Site Plan Review Special Permit

Due to the review of information submitted and referenced as well as recommendations of the various department heads and testimony provided at the public hearing and continued public hearing, the Board found that the site plan review application does not meet site plan review standards relative to imposing undue burden on sewers, sanitary, storm drains, water distribution systems or similar public facilities that could have been avoided by modification to the plans. The project as proposed was determined to create an undue burden and **the Special Permit for Site Plan Review was denied.**

*In accordance with Mass General Laws, Sections 81 BB, appeals to this decision may be taken within 20 days of the recording of this decision in the Office of City Clerk, Medford, Massachusetts.*

  
John DePriest, Chairman

  
Lauren DiLorenzo, Clerk

Copy to Applicant:  
Register Mail, Return Receipt

Ed Champy  
Waypoint Development/Winthrop Street LLC  
5 Broadway, Suite 200 B  
Saugus, Ma 01906.

## Annie Streetman

---

**From:** Annie Streetman  
**Sent:** Tuesday, October 08, 2019 8:33 AM  
**To:** Lauren DiLorenzo  
**Subject:** FW: Certificate and Amendment of Disapproval - Winthrop Estates Subdivision  
**Attachments:** Certificate of Disapproval- Winthrop Estates Subdivision 09.30.2019.pdf; Amendment to Certificate of Disapproval-Winthrop Estates Subdivision 10.02.2019.pdf

Here are the scanned copies of the certificate of disapproval and the amendment

**From:** Lorena Escolero  
**Sent:** Thursday, October 03, 2019 11:13 AM  
**To:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>; Annie Streetman <astreetman@medford-ma.gov>  
**Subject:** Certificate and Amendment of Disapproval - Winthrop Estates Subdivision





**City of Medford**  
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FAX: (781) 393-2342  
TDD: (781) 393-2516

**CERTIFICATE OF DISAPPROVAL  
DEFINITIVE SUBDIVISION PLAN  
AND SITE PLAN REVIEW SPECIAL PERMIT  
WINTHROP ESTATES SUBDIVISION  
541 & 551 WINTHROP STREET  
MEDFORD, MASSACHUSETTS**

It is hereby certified by the City of Medford, Massachusetts Community Development Board (Planning Board), that at a duly called and properly posted continued public hearing held on September 11, 2019, it was unanimously voted to disapprove the Special Permit for Site Plan Review Application and the Definitive Subdivision plan entitled "Winthrop Estates Subdivision, 541 & 551 Winthrop Street, Medford, Ma", prepared by Design Consultants, Inc, dated February 8, 2019 and revised June 24, 2019 and September 5, 2019.

APPLICANT: Ed Champy, Waypoint Development, 5 Broadway, Suite 200 B, Saugus, Ma 01906.

OWNER: Winthrop Street LLC., 5 Broadway, Suite 200 B, Saugus, Ma 01906.

The Applicant filed the Definitive Subdivision Plan and Special Permit for Site Plan Review Application to the Community Development Board on March 20, 2019. The combined public hearing was opened on May 15, 2019 and was continued at the Applicant's request and with the Board's approval until September 11, 2019.

The subject applications concern land at 541 & 551 Winthrop street. The Applicant proposes the creation of a new roadway and the creation of ten (10) house lots. The site has significant grade changes and ledge.

DECISION OF THE BOARD: Approval of the Definitive Subdivision: DENIED  
Special Permit Site Plan Review: DENIED

VOTE OF THE BOARD: UNANIMOUS

In support of the findings the Board considered testimony at the public hearing and the following documents and submissions:

- a) Certificate of Approval of a Preliminary Plan Winthrop Estates, 515&520 Winthrop Street to Edward Finn, City Clerk, date stamped May 7, 2018;
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- C6.5 Erosion Control Notes dated September 5, 2019.

#### Facts and Findings:

##### A. Definitive Subdivision:

The plans and application do not conform to the Planning Board's Rules and Regulations by failing to provide proper water, sewer and drainage plans and data sufficient for the City to determine such systems are adequate and do not create a detrimental effect on the proposed lots within the subdivision or the city's municipal systems (Sections 4.513, 4.5126, 4.5127, 4.5128).

The Board determined it provided sufficient time including the granting of an extension of the statutory timeframe for making a decision, in order for the Applicant to address comments and to conduct additional testing and information to support their design of the roadway and utilities. The two pieces of drainage information critical for the City Engineer to be able to confirm that the system will operate properly included the permeability of the underlying soil and rock and the elevation of the seasonal high groundwater table. The Applicant neither requested another extension nor requested a withdrawal.

The Applicant presented statements in the submitted "Resolution Report, Revised September 5, 2019". In the report, DCI proposed "resolutions" to various requests and recommendations of the City Engineer that proposed the submission of information at a later

date: cut and fill computations, review of blasting sheets by the Medford Fire Department, homeowners association and preparation of an operation and maintenance plan for maintenance of rock face walls, stabilized slopes, safety fencing and guardrails, written request to the CD Board for a waiver for compliance with 7.31 dimension of radii at intersections and confirmation of approval of the revised lighting plan by the City's Superintendent of Wires.

Additionally, and importantly, the Applicant did not provide sufficient additional tests requested by the City Engineer in order to confirm that the stormwater management system complies with standards and will function adequately. The Applicant's first response to the Engineer was to state additional tests would be done in the future and that "...required infiltration testing would be performed during site excavation to demonstrate that the subsurface conditions are suitable, and the SIS design is appropriate". The City Engineer had stated this was not acceptable in a letter to the Applicant dated August 13, 2019. In the "Revised Resolution Report" dated September 5, 2019, the Applicant requested "... that the percolation testing and groundwater level observation requirement be deferred until the site is blasted and excavated and the Definitive Subdivision be approved subject to such future testing and design confirmation".

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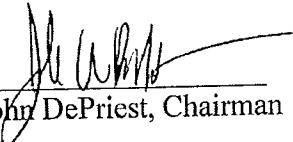
As determined at the public hearing this information was not presented to satisfy the City Engineer who provided testimony he would not recommend the Board approve the definitive subdivision plans nor the site plan review special permit without additional testing for storm water capacity and groundwater level as identified above as well as addressing his earlier recommendations relative to the water and sewage systems.

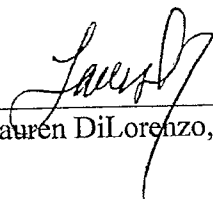
The Board found the information necessary to ensure access for public safety vehicles and the provision of proper utilities to ensure adequate water for domestic and firefighting purposes, sewage and storm drainage was deficient and thus **the Definitive Subdivision Plan was denied.**

#### B. Site Plan Review Special Permit

Due to the review of information submitted and referenced as well as recommendations of the various department heads and testimony provided at the public hearing and continued public hearing, the Board found that the site plan review application does not meet site plan review standards relative to imposing undue burden on sewers, sanitary, storm drains, water distribution systems or similar public facilities that could have been avoided by modification to the plans. The project as proposed was determined to create an undue burden and **the Special Permit for Site Plan Review was denied.**

*In accordance with Mass General Laws, Sections 81 BB, appeals to this decision may be taken within 20 days of the recording of this decision in the Office of City Clerk, Medford, Massachusetts.*

  
John DePriest, Chairman

  
Lauren DiLorenzo, Clerk

Copy to Applicant:  
Register Mail, Return Receipt

Ed Champy  
Waypoint Development/Winthrop Street LLC  
5 Broadway, Suite 200 B  
Saugus, Ma 01906.



**City of Medford**  
COMMUNITY DEVELOPMENT BOARD

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85 George P. Hassett Drive  
Medford, Massachusetts 02155

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(781) 393-2480  
FAX: (781) 393-2342  
TDD: (781) 393-2516

AMENDMENT TO THE CERTIFICATE OF DISAPPROVAL  
DEFINITIVE SUBDIVISION PLAN  
AND SITE PLAN REVIEW SPECIAL PERMIT  
WINTHROP ESTATES SUBDIVISION  
541 & 551 WINTHROP STREET  
MEDFORD, MASSACHUSETTS

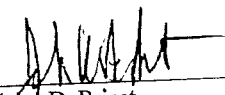
APPLICANT: Ed Champy, Waypoint Development, 5 Broadway, Suite 200 B, Saugus, Ma 01906.


OWNER: Winthrop Street LLC., 5 Broadway, Suite 200 B, Saugus, Ma 01906.

The Certificate of Denial date stamped September 30, 2019 at the Office of the City Clerk, Medford, Massachusetts for a proposed 10 lot subdivision located at 541 & 551 Winthrop Street, is hereby revised as follows:

Delete the last paragraph and replace with:

*"In accordance with Mass General Laws, Chapter 41, Section 81 BB and Chapter 40A, Section 17, appeals to this decision may be taken within 20 days of the recording of this amended decision in the Office of City Clerk, Medford, Massachusetts.*

  
John DePriest,  
Chairman

  
Lauren DiLorenzo,  
Clerk

Copy to Applicant:  
Register Mail, Return Receipt

Ed Champy  
Waypoint Development/Winthrop Street LLC  
5 Broadway, Suite 200 B  
Saugus, Ma 01906

**D H H**  
**DROHAN, HITT & HADAS LLC**

LAND COURT  
FILED  
2019 OCT 21 2:19  
David Hadas  
617-377-4367  
dhadas@drohantitt.com

October 21, 2019

**By Hand**

Massachusetts Land Court  
3 Pemberton Square  
Boston, MA 02108

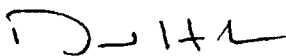
**Re:** *Waypoint Development LLC v. City of Medford, et al.,*  
**No.** \_\_\_\_\_

Dear Sir/Madam:

Enclosed for filing and docketing please find the following documents:

1. Complaint;
2. Civil Cover Sheet; and
3. Plaintiff Waypoint Development LLC's Motion for Appointment of Special Process Server.

Very truly yours,



David Hadas

Encs.



COMMONWEALTH OF MASSACHUSETTS  
LAND COURT  
DEPARTMENT OF THE TRIAL COURT

CIVIL ACTION

NO. 19 MISC 000517

Waypoint Development LLC Plaintiff(s)

v.

City of Mattford, et al. Defendant(s)

SUMMONS

To the above-named Defendant:

You are hereby summoned and required to serve upon \_\_\_\_\_

David Hadas, Drohan Hitt & Hadas

Plaintiff's attorney, whose address is 50 Federal St. Boston, MA 02110, an answer to the complaint which is herewith served upon you, within 20 days after service of this summons upon you, exclusive of the day of service. If you fail to do so, judgment by default will be taken against you for the relief demanded in the complaint. You are also required to file your answer to the complaint in the office of the Recorder of this court at Three Pemberton Square, Room 507, Boston, MA 02108 either before service upon plaintiff's attorney or within a reasonable time thereafter.

Unless otherwise provided by Rule 13(a), your answer must state as a counterclaim any claim which you may have against the plaintiff which arises out of the transaction or occurrence that is the subject matter of the plaintiff's claim or you will thereafter be barred from making such claim in any other action.

Witness, Gordon H. Piper, Chief Justice, at Boston, \_\_\_\_\_

Deborah S. Patterson

Recorder

NOTES

1. This summons is issued pursuant to Rule 4 of the Massachusetts Rules of Civil Procedure.
2. When more than one defendant is involved, the names of all defendants should appear in the caption. If a separate summons is used for each defendant, each should be addressed to the particular defendant.
3. TO PLAINTIFF'S ATTORNEY: PLEASE CIRCLE TYPE OF ACTION INVOLVED  
(1) EQUITY — (2) OTHER

NOTICE TO DEFENDANT - You need not appear personally in court to answer the complaint, but if you claim to have a defense, either you or your attorney must serve a copy of your written answer within 20 days as specified herein and also file the original in the Land Court at the address herein provided.



**Trial Court of Massachusetts  
Land Court Department**

DOCKET NUMBER

COURT USE ONLY

LAND COURT  
FILED

2019 OCT 21 PM 2:19

**CIVIL COVER SHEET**

(For use in all Land Court case types except tax foreclosures, mortgage foreclosures under the Servicemembers Civil Relief Act, and all cases related to original and subsequent registration under G. L. c. 185, §1)

CASE NAME

Waypoint Development LLC

v.

City of Medford, et al.

LOCUS ADDRESS/DESCRIPTION

541/551 Winthrop Street

CITY/TOWN

Medford

**PART I – TYPE OF ACTION**

Using the list below, place the **Number "1"** next to the main cause of action asserted in your complaint.

Place an **"X"** next to each other cause of action asserted in your complaint.

Is this complaint verified? ☐ Yes ☒ No

Any related cases (open or closed) filed in the Land Court Department? ☒ Yes ☐ No

Case No(s). 17 MISC 000187

	ZAC	Appeal from Zoning/Planning Board G. L. c. 40A, § 17
X	ZAD	Appeal from Planning Board G. L. c. 41, § 81BB
	ZJA	Validity of Zoning G. L. cc. 240, § 14A, 185, § 1 (j ½)
	ZEN	Enforcement of Zoning G. L. c. 40A, § 7
	COT	Remove Cloud on Title G. L. c. 240, § 6 - 10
	DOM	Discharge of Old Mortgage G. L. c. 240, § 15
	LVT	Affirm Tax Foreclosure - Land of Low Value G. L. c. 60, § 80B
	MTB	Try Title G. L. c. 240, § 1 - 5
	MWA	Recover Freehold Estate (Writ of Entry) G. L. c. 237
	MRC	Determine Validity of Encumbrances G. L. c. 240, § 11 - 14
	CER	Enforce Restrictions G. L. c. 240, § 10A - 10C
	MAD	Determine Fiduciary Authority G. L. c. 240, § 27

	PAR	Partition G. L. c. 241
	RED	Redemption G. L. c. 60, § 76
	SP	Specific Performance of Contracts G. L. c. 185, § 1 (k)
	MBF	Determine Municipal Boundaries G. L. c. 42, § 12
	MFE	Determine Boundaries of Flats G. L. c. 240, § 19
	CNC	Certiorari G. L. c. 249, § 4
	MAN	Mandamus G. L. c. 249, § 5
	TRE	Trespass to Real Estate Involving Title G. L. c. 185, § 1 (o)
	EQA	Equitable Action Involving Any Right, Title or Interest in Land G. L. c. 185, § 1 (k)
	AHA	Affordable Housing Appeal G. L. c. 40B, § 21
	OTA	Other

SIGNATURE OF SELF-REPRESENTED PLAINTIFF

DATE

**PART II – UNIFORM COUNSEL CERTIFICATE (SJC RULE 1:18)**

I hereby certify that I have complied with requirements of Rule 5 of the Supreme Judicial Court Uniform Rules on Dispute Resolution (SJC Rule 1:18) requiring that I provide my clients with information about court-connected dispute resolution services and discuss with them the advantages and disadvantages of the various methods of dispute resolution.

SIGNATURE OF ATTORNEY

BBO NUMBER  
641294

DATE

10.21.19



**City of Medford**  
COMMUNITY DEVELOPMENT BOARD

RECEIVED  
CITY CLERK  
MEDFORD, MASS.

2019 SEP 30 PM 12:49

City Hall  
85 George P. Hassett Drive  
Medford, Massachusetts 02155

Telephone  
(781) 393-2480  
FAX: (781) 393-2342  
TDD: (781) 393-2516

**CERTIFICATE OF DISAPPROVAL  
DEFINITIVE SUBDIVISION PLAN  
AND SITE PLAN REVIEW SPECIAL PERMIT  
WINTHROP ESTATES SUBDIVISION  
541 & 551 WINTHROP STREET  
MEDFORD, MASSACHUSETTS**

It is hereby certified by the City of Medford, Massachusetts Community Development Board (Planning Board), that at a duly called and properly posted continued public hearing held on September 11, 2019, it was unanimously voted to disapprove the Special Permit for Site Plan Review Application and the Definitive Subdivision plan entitled "Winthrop Estates Subdivision, 541 & 551 Winthrop Street, Medford, Ma", prepared by Design Consultants, Inc, dated February 8, 2019 and revised June 24, 2019 and September 5, 2019.

APPLICANT: Ed Champy, Waypoint Development, 5 Broadway, Suite 200 B, Saugus, Ma 01906.

OWNER: Winthrop Street LLC., 5 Broadway, Suite 200 B, Saugus, Ma 01906.

The Applicant filed the Definitive Subdivision Plan and Special Permit for Site Plan Review Application to the Community Development Board on March 20, 2019. The combined public hearing was opened on May 15, 2019 and was continued at the Applicant's request and with the Board's approval until September 11, 2019.

The subject applications concern land at 541 & 551 Winthrop street. The Applicant proposes the creation of a new roadway and the creation of ten (10) house lots. The site has significant grade changes and ledge.

DECISION OF THE BOARD: Approval of the Definitive Subdivision: DENIED  
Special Permit Site Plan Review: DENIED

VOTE OF THE BOARD: UNANIMOUS

In support of the findings the Board considered testimony at the public hearing and the following documents and submissions:

- a) Certificate of Approval of a Preliminary Plan Winthrop Estates, 515&520 Winthrop Street to Edward Finn, City Clerk, date stamped May 7, 2018;
- b) Letters from the following department heads to John DePriest, Chairman:
  - Mark E. Rumley, City Solicitor, dated May 10, 2019
  - Frank A. Giliberti, Jr. Chief of Fire dated May 14, 2019
  - Timothy J. McGivern, City Engineer, dated May 7, 2019
  - Mary Ann O'Connor, Director of Public Health, dated April 8, 2019
  - Paul Mochi, Building Commissioner, dated May 14, 2019
  - Steven Randazzo, Superintendent of Wires, dated May 15, 2019
  - Brian Kerins, Commissioner of Public Works dated May 9, 2019
- c) Definitive Subdivision Plan entitled "Winthrop Estates Subdivision, 541 & 551 Winthrop Street, Medford, Ma", prepared by Design Consultants, Inc, dated February 8, 2019;
- d) Definitive Subdivision and Special Permit Application Written Statement dated March 12, 2019 prepared by Erik S. Swanson, P.E., Design Consultants, Inc. addressed to Lauren DiLorenzo, Director, Office of Community Development;
- e) Stormwater Management Report prepared for Waypoint Development by Design Consultants, Inc, dated March 13, 2019;
- f) Memorandum dated January 24, 2018, from Francis D. Leathers, P.E. and Anne Leifer, P.G., LSP, Design Consultants, Inc. to Ed Champy, Waypoint Company regarding Rock Cut Slope Design Evaluation and Recommendations Winthrop Estates, Medford, MA;
- g) Memorandum dated January 10, 2018, from Francis D. Leathers, P.E. and Anne Leifer, P.G., LSP, Design Consultants, Inc. to Ed Champy, Waypoint Company regarding Results of Infiltration Test, Winthrop Estates, Medford, MA;
- h) Traffic Impact & Access Study, 515 & 523 Winthrop Street-Winthrop Estates, Medford, Massachusetts prepared by Design Consultants, Inc, dated November 2018 for Waypoint Development;
- i) Memorandum dated March 8, 2019 from Michael F. Clark, P.E. to Erik Swanson, P.E., Design Consultants, Inc. regarding Hydrant Flow Test Winthrop Street Development, Medford, MA;
- j) Definitive Subdivision Plan entitled "Winthrop Estates Subdivision, 541 & 551 Winthrop Street, Medford, Ma", prepared by Design Consultants, Inc, dated February 8, 2019 and revised June 24, 2019;
- k) Memorandum from Adam Macsata, EIT, Fire Protection Engineer/Code Consultant, Commercial Construction Consulting, Inc. to Joseph Lariccia dated July 11, 2019 regarding Winthrop Estates, Medford;
- l) Stormwater Management Report for 541-551 Winthrop Street, Medford, MA 10 -Lot Subdivision" prepared for Waypoint Development by Design Consultants, Inc, dated March 13, 2019 and revised June 21, 2019;

- m) Memorandum dated July 8, 2019 from Michael F. Clark, P.E. to Erik Swanson, P.E., Design Consultants, Inc. regarding Hydrant Flow Test Winthrop Street Development, Medford, MA;
- n) "Resolution Report for 541-551 Winthrop Street, Medford, MA 10 -Lot Subdivision" prepared by Design Consultants, Inc. and dated July 2, 2019;
- o) "Stormwater Management Report for 541-551 Winthrop Street, Medford, MA 10 -Lot Subdivision" prepared for Waypoint Development by Design Consultants, Inc, dated March 13, 2019 and Revised June 21, 2019;
- p) Wayne's Drains Tractor Camera Inspection Report dated 08/05/2019;
- q) Letters from the following department heads to John DePriest, Chairman
  - Frank A. Giliberti, Jr. Chief of Fire dated August 26, 2019
  - Timothy J. McGivern, City Engineer, dated August 13, 2019
  - Mary Ann O'Connor, Director of Public Health, dated August 14, 2019;
- r) "Resolution Report for 541-551 Winthrop Street, Medford, MA 10 -Lot Subdivision" prepared by Design Consultants, Inc. Revised September 5, 2019;
- s) Foam Board 8 1/2 by 11 Renderings of Site Plan Elevation and Architectural "Oversight";
- t) Definitive Subdivision Plan entitled "Winthrop Estates Subdivision, 541 & 551 Winthrop Street, Medford, Ma", prepared by Design Consultants, Inc, dated February 8, 2019, revised June 24, 2019 and September 5, 2019, containing the.
- u) following sheets:

- T1.0 Title Sheet dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- S1.0 Existing Conditions Plan dated February 8, 2019, revised June 24, 2019 and September 3, 2019.
- S2.0 Subdivision Plan dated February 8, 2019, revised June 24, 2019 and September 3, 2019.
- C1.0 Site Layout Plan dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C2.0 Proposed Utility Plan dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C3.0 Proposed Grading Plan dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C4.0 Proposed Section and Profile dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C4.1 Proposed Drainage Profile dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C5.0 Construction Management Plan dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C5.1 Temporary Traffic Control Plan Phases I and III dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C5.2 Temporary Traffic Control Plan – Phase IIA dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C5.3 Temporary Traffic Control Plan – Phase II-B dated February 8, 2019, revised June 24, 2019 and September 5, 2019.

- GT-1 Rock Face and Vegetated Slope Layout dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- GT-2 Elevation of Rock Face and Rock Dowel Locations dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- GT-3 Typical Rock Face and Vegetated Slope Cross Section and Rock Dowel Table dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- GT-4 Rock Face Details dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- GT-5 Rock Face Notes and Requirements dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- L1 Landscape Plan dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- L2 Lighting Plan dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C6.0 Construction Details I dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C6.1 Construction Details II dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C6.2 Construction Details II dated February 8, 2019, revised June 24, 2019 and September 5, 2019.
- C6.3 Proposed Signage & Striping Plan dated June 21, 2019, revised June 24, 2019 and September 5, 2019.
- C6.4 Erosion & Sediment Control Plan dated September 5, 2019.
- C6.5 Erosion Control Notes dated September 5, 2019.

#### Facts and Findings:

##### A. Definitive Subdivision:

The plans and application do not conform to the Planning Board's Rules and Regulations by failing to provide proper water, sewer and drainage plans and data sufficient for the City to determine such systems are adequate and do not create a detrimental effect on the proposed lots within the subdivision or the city's municipal systems (Sections 4.513, 4.5126, 4.5127, 4.5128).

The Board determined it provided sufficient time including the granting of an extension of the statutory timeframe for making a decision, in order for the Applicant to address comments and to conduct additional testing and information to support their design of the roadway and utilities. The two pieces of drainage information critical for the City Engineer to be able to confirm that the system will operate properly included the permeability of the underlying soil and rock and the elevation of the seasonal high groundwater table. The Applicant neither requested another extension nor requested a withdrawal.

The Applicant presented statements in the submitted "Resolution Report, Revised September 5, 2019". In the report, DCI proposed "resolutions" to various requests and recommendations of the City Engineer that proposed the submission of information at a later

date: cut and fill computations, review of blasting sheets by the Medford Fire Department, homeowners association and preparation of an operation and maintenance plan for maintenance of rock face walls, stabilized slopes, safety fencing and guardrails, written request to the CD Board for a waiver for compliance with 7.31 dimension of radii at intersections and confirmation of approval of the revised lighting plan by the City's Superintendent of Wires.

Additionally, and importantly, the Applicant did not provide sufficient additional tests requested by the City Engineer in order to confirm that the stormwater management system complies with standards and will function adequately. The Applicant's first response to the Engineer was to state additional tests would be done in the future and that "...required infiltration testing would be performed during site excavation to demonstrate that the subsurface conditions are suitable, and the SIS design is appropriate". The City Engineer had stated this was not acceptable in a letter to the Applicant dated August 13, 2019. In the "Revised Resolution Report" dated September 5, 2019, the Applicant requested "... that the percolation testing and groundwater level observation requirement be deferred until the site is blasted and excavated and the Definitive Subdivision be approved subject to such future testing and design confirmation".

At the continued public hearing it was the City's Engineer's testimony that information specifically determining the permeability of the underlying soil and rock, and the elevation of the seasonal high groundwater table on drainage had been requested as early as May. It was his opinion that there were methods to obtain this information without the amount and method of excavation the Applicant has asserted. Furthermore, he presented he would not recommend to the Board that the definitive plans be approved.

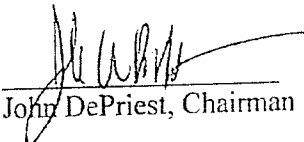
As determined at the public hearing this information was not presented to satisfy the City Engineer who provided testimony he would not recommend the Board approve the definitive subdivision plans nor the site plan review special permit without additional testing for storm water capacity and groundwater level as identified above as well as addressing his earlier recommendations relative to the water and sewage systems.

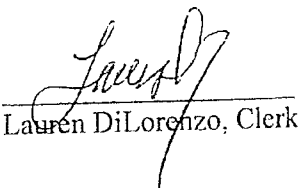
The Board found the information necessary to ensure access for public safety vehicles and the provision of proper utilities to ensure adequate water for domestic and firefighting purposes, sewage and storm drainage was deficient and thus **the Definitive Subdivision Plan was denied.**

#### B. Site Plan Review Special Permit

Due to the review of information submitted and referenced as well as recommendations of the various department heads and testimony provided at the public hearing and continued public hearing, the Board found that the site plan review application does not meet site plan review standards relative to imposing undue burden on sewers, sanitary, storm drains, water distribution systems or similar public facilities that could have been avoided by modification to the plans. The project as proposed was determined to create an undue burden and **the Special Permit for Site Plan Review was denied.**

*In accordance with Mass General Laws, Sections 81 BB, appeals to this decision may be taken within 20 days of the recording of this decision in the Office of City Clerk, Medford, Massachusetts.*

  
John DePriest, Chairman

  
Lauren DiLorenzo, Clerk

Copy to Applicant:  
Register Mail, Return Receipt

✓ Ed Champy  
Waypoint Development/Winthrop Street LLC  
5 Broadway, Suite 200 B  
Saugus, Ma 01906.



## Annie Streetman

---

**From:** Lauren DiLorenzo  
**Sent:** Thursday, October 24, 2019 11:24 AM  
**To:** Annie Streetman  
**Subject:** FW: Winthrop Street Subdivision Appeal

Lauren DiLorenzo, Director

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

ldilorenzo@medford-ma.gov

On 10/22/19, 5:26 PM, "Kelly Hurstak" <Kelly.Hurstak@atcgs.com> wrote:

Received.

Sent from my iPhone

On Oct 22, 2019, at 4:19 PM, Lauren DiLorenzo <ldilorenzo@medford-ma.gov> wrote:

Hello Everyone,

Waypoint Development has filed an appeal of the Board's decision denying the Definitive Subdivision for the Winthrop Estates project. The City Solicitor has accepted the Receipt of Notice on your behalf. Attached is a copy of the Appeal. Would you kindly acknowledge receipt to me? We will let you know if anything is needed. Thank you

Lauren DiLorenzo, Director

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

ldilorenzo@medford-ma.gov

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<Waypoint v. Medford complaint[2].pdf>

## **Annie Streetman**

---

**From:** Lauren DiLorenzo  
**Sent:** Thursday, October 24, 2019 11:25 AM  
**To:** Annie Streetman  
**Subject:** FW: Winthrop Street Subdivision Appeal

*Lauren DiLorenzo, Director*

Office of Community Development  
Room 308, City Hall  
Medford, MA 02155  
781-393-2480

[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)

**From:** Deanna Peabody <[deanna.peabody@gmail.com](mailto:deanna.peabody@gmail.com)>  
**Date:** Wednesday, October 23, 2019 at 10:07 AM  
**To:** Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
**Subject:** Re: Winthrop Street Subdivision Appeal

Hi Lauren,

I have received the document.

Thanks,  
Deanna

On Tue, Oct 22, 2019 at 4:13 PM Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)> wrote:

Hello Everyone,

Waypoint Development has filed an appeal of the Board's decision denying the Definitive Subdivision for the Winthrop Estates project. The City Solicitor has accepted the Receipt of Notice on your behalf. Attached is a copy of the Appeal. Would you kindly acknowledge receipt to me? We will let you know if anything is needed. Thank you

*Lauren DiLorenzo, Director*

Office of Community Development

Room 308, City Hall

Medford, MA 02155

781-393-2480

[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)

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--

Deanna Peabody

---

**Annie Streetman**

**From:** DePriest, John <JDePriest@chelseama.gov>  
**Sent:** Monday, October 28, 2019 8:09 AM  
**To:** Annie Streetman  
**Subject:** RE: Winthrop Street Subdivision Appeal

Yes, I have received it and opened it.

John DePriest  
Director of Planning & Development/Conservation Agent

**From:** Annie Streetman [mailto:[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)]  
**Sent:** Thursday, October 24, 2019 10:53 AM  
**To:** DePriest, John; 'Claes Andreasen'  
**Cc:** Lauren DiLorenzo  
**Subject:** RE: Winthrop Street Subdivision Appeal

Hi John and Claes,

The City Solicitor needs confirmation that all CD Board members have received a copy of the Winthrop Street Subdivision Appeal. Could you please confirm that you received these emails and are able to open the attachment?

Thank you,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

**From:** Annie Streetman  
**Sent:** Wednesday, October 23, 2019 10:58 AM  
**To:** DePriest, John <JDePriest@chelseama.gov>; Rick Orlando <[rorlando@mide.com](mailto:rorlando@mide.com)>; Claes Andreasen <[claes.andreasen@gmail.com](mailto:claes.andreasen@gmail.com)>; André Leroux <[andre@ma-smartgrowth.org](mailto:andre@ma-smartgrowth.org)>  
**Cc:** Lauren DiLorenzo <[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)>  
**Subject:** RE: Winthrop Street Subdivision Appeal

Hello John, Rick, Claes, and Andre,

Lauren's email yesterday (see below) received some bounce backs due to the size of the attachment, so I am attaching a reduced version here. Please confirm receipt of this email and that you are successfully able to open the Appeal.

Thank you,

Annie

**Annie Streetman**

*Land Use Planner*

Office of Community Development

City of Medford

781-393-2480

[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

**From:** Lauren DiLorenzo

**Sent:** Tuesday, October 22, 2019 4:12 PM

**To:** DePriest, John <[JDePriest@chelseama.gov](mailto:JDePriest@chelseama.gov)>; Kelly Hurstak <[Kelly.Hurstak@atcgs.com](mailto:Kelly.Hurstak@atcgs.com)>; Rick Orlando <[rorlando@mide.com](mailto:rorlando@mide.com)>; Deanna Peabody <[deanna.peabody@gmail.com](mailto:deanna.peabody@gmail.com)>; Claes Andreasen <[claes.andreasen@gmail.com](mailto:claes.andreasen@gmail.com)>; Jacqueline Furtado <[jacquiefurtado@gmail.com](mailto:jacquiefurtado@gmail.com)>; André Leroux <[andre@ma-smartgrowth.org](mailto:andre@ma-smartgrowth.org)>

**Cc:** Mark Rumley <[markrumley@medford-ma.gov](mailto:markrumley@medford-ma.gov)>; Annie Streetman <[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)>

**Subject:** Winthrop Street Subdivision Appeal

Hello Everyone,

Waypoint Development has filed an appeal of the Board's decision denying the Definitive Subdivision for the Winthrop Estates project. The City Solicitor has accepted the Receipt of Notice on your behalf. Attached is a copy of the Appeal. Would you kindly acknowledge receipt to me? We will let you know if anything is needed. Thank you

*Lauren DiLorenzo, Director*

Office of Community Development

Room 308, City Hall

Medford, MA 02155

781-393-2480

[ldilorenzo@medford-ma.gov](mailto:ldilorenzo@medford-ma.gov)

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## **Annie Streetman**

---

**From:** Heather Davidson <hldavids@yahoo.com>  
**Sent:** Friday, November 01, 2019 8:01 AM  
**To:** Lauren DiLorenzo; Annie Streetman  
**Cc:** Jeff Oppenheimer  
**Subject:** 541-551 Winthrop Street

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Dear Lauren and Annie,  
We are residents of Wildwood Road and recently learned that several neighbors surrounding us received a letter earlier this fall regarding 541-551 Winthrop Street. We did not and would like to receive a copy of it. Could your office please send it to us at 29 Wildwood Road?  
Thanks very much for your help.  
Heather Davidson & Jeff Oppenheimer

## Annie Streetman

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**From:** Annie Streetman  
**Sent:** Monday, November 04, 2019 10:44 AM  
**To:** 'hldavids@yahoo.com'; Jeff Oppenheimer  
**Cc:** Lauren DiLorenzo  
**Subject:** RE: 541-551 Winthrop Street

Good morning Heather and Jeff,

Our office has mailed copies of the following documents to you at 29 Wildwood Road:

- Certificate of Disapproval, Definitive Subdivision Plan and Site Plan Review Special Permit, Winthrop Estates Subdivision, 541 & 551 Winthrop Street, Medford, Massachusetts
- Amendment to the Certificate of Disapproval, Definitive Subdivision Plan and Site Plan Review Special Permit, Winthrop Estates Subdivision, 541 & 551 Winthrop Street, Medford, Massachusetts

Best,

Annie

**Annie Streetman**  
*Land Use Planner*  
Office of Community Development  
City of Medford  
781-393-2480  
[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

**From:** Heather Davidson  
**Sent:** Friday, November 01, 2019 8:01 AM  
**To:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>; Annie Streetman <astreetman@medford-ma.gov>  
**Cc:** Jeff Oppenheimer <eippo1@gmail.com>  
**Subject:** 541-551 Winthrop Street

Dear Lauren and Annie,  
We are residents of Wildwood Road and recently learned that several neighbors surrounding us received a letter earlier this fall regarding 541-551 Winthrop Street. We did not and would like to receive a copy of it. Could your office please send it to us at 29 Wildwood Road?  
Thanks very much for your help.  
Heather Davidson & Jeff Oppenheimer



## **Annie Streetman**

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**From:** Heather Davidson <hldavids@yahoo.com>  
**Sent:** Monday, November 04, 2019 10:50 AM  
**To:** Jeff Oppenheimer; Annie Streetman  
**Cc:** Lauren DiLorenzo  
**Subject:** Re: 541-551 Winthrop Street

Fantastic, thank you so much!  
Heather

On Monday, November 4, 2019, 10:43:52 AM EST, Annie Streetman <astreetman@medford-ma.gov> wrote:

Good morning Heather and Jeff,

Our office has mailed copies of the following documents to you at 29 Wildwood Road:

- Certificate of Disapproval, Definitive Subdivision Plan and Site Plan Review Special Permit, Winthrop Estates Subdivision, 541 & 551 Winthrop Street, Medford, Massachusetts
- Amendment to the Certificate of Disapproval, Definitive Subdivision Plan and Site Plan Review Special Permit, Winthrop Estates Subdivision, 541 & 551 Winthrop Street, Medford, Massachusetts

Best,

Annie

**Annie Streetman**

*Land Use Planner*

Office of Community Development

City of Medford

781-393-2480

[astreetman@medford-ma.gov](mailto:astreetman@medford-ma.gov)

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**Sent:** Friday, November 01, 2019 8:01 AM  
**To:** Lauren DiLorenzo <ldilorenzo@medford-ma.gov>; Annie Streetman <astreetman@medford-ma.gov>  
**Cc:** Jeff Oppenheimer <eippo1@gmail.com>  
**Subject:** 541-551 Winthrop Street

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Thanks very much for your help.

Heather Davidson & Jeff Oppenheimer

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